

DEVELOPMENT AND TAX INCREMENT FINANCING PLANS



Hill Road Corridor Improvement Authority *Charter Township of Mundy*

ADOPTED: November 11, 2013,

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ACKNOWLEDGEMENTS

The Hill Road Corridor Improvement Authority was established in 2013, pursuant to the Corridor Improvement Authority Act (Act 280 of 2005). The Plan was then amended on March, XX 2018

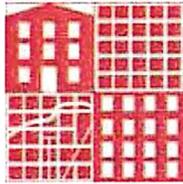
The purpose of the Authority is to develop a strategy for revitalization of the Hill Road Corridor in Mundy Township.

For their vision and support, the following community leaders should be recognized:

- DAVID GUIGEAR, SUPERVISOR
- TONYA KETZLER, CLERK
- JOE OSKEY, TREASURER
- KAY DOERR, TRUSTEE
- BETTY HARRISON, TRUSTEE
- BILL MOREY, TRUSTEE
- DENNIS OWENS, TRUSTEE

This plan was prepared with assistance from:

Zettel Consulting



CIB Planning



LSL Planning, Inc.



ADOPTED BY TOWNSHIP BOARD: November 11, 2013

Amended on

TABLE OF CONTENTS

INTRODUCTION1

- GENERAL OVERVIEW 1
- CRITERIA FOR ESTABLISHING A CIA..... 1
- POWERS OF THE AUTHORITY 2
- THE HILL ROAD CORRIDOR.....4
- THE NEED FOR A CORRIDOR IMPROVEMENT AUTHORITY4

DEVELOPMENT PLAN6

- LEGAL BASIS OF THE PLAN 6
- DEVELOPMENT PLAN REQUIREMENTS.....6
- DESIGNATION OF BOUNDARIES..... 9
- EXISTING LAND USE 9
- EXISTING ZONING 9
 - Map 1: Existing Land Use..... 10
 - Map 2: Existing Zoning 11
- OPEN SPACE AND UNDEVELOPED AREAS 12
- PUBLIC INVOLVEMENT 12
- PHYSICAL CORRIDOR ANALYSIS 12
- TOWNSHIP-OWNED PROPERTY ANALYSIS..... 20
- PROPOSED IMPROVEMENTS 22
- IMPLEMENTATION..... 32
- PROJECT LIST..... 35
- Map 3: Future Land Use..... 37

TAX INCREMENT FINANCING PLAN 38

- EXPLANATION OF THE TAX INCREMENT PROCEDURE 38
- MAXIMUM AMOUNT OF BONDED INDEBTEDNESS TO BE INCURRED 40
- DURATION OF THE DEVELOPMENT PROGRAM..... 41
- STATEMENT OF THE ESTIMATED IMPACT OF TAX INCREMENT FINANCING ON TAXING JURISDICTIONS IN WHICH THE DEVELOPMENT AREA IS LOCATED 41
- PLAN FOR THE EXPENDITURE OF CAPTURED ASSESSED VALUE BY THE AUTHORITY..... 43

APPENDICES 44

- APPENDIX A: DEVELOPMENT AREA BOUNDARY..... 44
- APPENDIX B: BASE PARCEL DATA..... 45

GENERAL OVERVIEW

In 2005 the State of Michigan enacted the Corridor Improvement Authority Act (Act 280 of 2005) to provide for the establishment of a Corridor Improvement Authority (hereinafter referred to as "CIA") with the goal being "to correct and prevent deterioration in business districts; to encourage historic preservation; to authorize the acquisition and disposal of interests in real and personal property; to authorize the creation and implementation of development plans and development areas in the districts; to promote the economic growth of the districts; to create a board; to prescribe the powers and duties of the board; to authorize the levy and collection of taxes; to authorize the issuance of bonds and other evidences of indebtedness; to authorize the use of tax increment financing; to prescribe powers and duties of certain state officials; to provide for rule promulgation; and to provide for enforcement of the act."

A community can use a CIA to revitalize an existing business district and create an inviting place for residents, visitors and shoppers in the area. Once created, the CIA can establish a special district for which a plan is prepared identifying specific public and private improvements necessary to prevent or correct deterioration in the corridor and encourage new private investment. A CIA can capture new tax increment in the district (TIF) and use it to pay for improvements that otherwise could not be afforded by either local businesses or township government. Moreover, creation of a TIF district does not take away current tax revenue; it just captures any new increment that results from improvements to property or an increase in value.

CRITERIA FOR ESTABLISHING A CIA

This CIA meets all of the eligibility criteria established by Section 5 of the Act, as follows:

A. IS ADJACENT TO OR IS WITHIN 500 FEET OF A ROAD CLASSIFIED AS AN ARTERIAL OR COLLECTOR ACCORDING TO THE FEDERAL HIGHWAY ADMINISTRATION MANUAL "HIGHWAY FUNCTIONAL CLASSIFICATION - CONCEPTS, CRITERIA AND PROCEDURES".

Hill Road, US-23 and I-75 each meet this requirement.

B. CONTAINS AT LEAST 10 CONTIGUOUS PARCELS OR AT LEAST 5 CONTIGUOUS ACRES.

Requirement met.

C. MORE THAN 1/2 OF THE EXISTING GROUND FLOOR SQUARE FOOTAGE IN THE DEVELOPMENT AREA IS CLASSIFIED AS COMMERCIAL REAL PROPERTY UNDER SECTION 34C OF THE GENERAL PROPERTY TAX ACT, 1893 PA 206, MCL 211.34C.

The vast majority of the existing ground floor square footage is commercial and this requirement is met.

D. RESIDENTIAL USE, COMMERCIAL USE, OR INDUSTRIAL USE HAS BEEN ALLOWED AND CONDUCTED UNDER THE ZONING ORDINANCE OR CONDUCTED IN THE ENTIRE DEVELOPMENT AREA, FOR THE IMMEDIATELY PRECEDING 30 YEARS.

A review of the uses in the District indicates that the above uses have been allowed for more than 30 years.

E. IS PRESENTLY SERVED BY MUNICIPAL WATER OR SEWER.

In compliance.

F. IS ZONED TO ALLOW FOR MIXED USE THAT INCLUDES HIGH-DENSITY RESIDENTIAL USE.

The PRC, Planned Regional Center District “allows for a mixture of uses, including professional, personal service or business, office uses, hotels and motels, multiple residential use, commercial, retail and food service uses, research, development, high-technology and light assembly uses; and distribution and warehouse uses.” In compliance.

G. THE MUNICIPALITY AGREES TO ALL OF THE FOLLOWING:

1. TO EXPEDITE THE LOCAL PERMITTING AND INSPECTION PROCESS IN THE DEVELOPMENT AREA.

Will be agreed to as part of the CIA Implementation effort. In compliance.

2. TO MODIFY ITS MASTER PLAN TO PROVIDE FOR WALKABLE NONMOTORIZED INTERCONNECTIONS, INCLUDING SIDEWALKS AND STREETS CAPES THROUGHOUT THE DEVELOPMENT AREA.

This is already part of the Master Plan and will be a key component in the Development Plan herein. In compliance.

POWERS OF THE AUTHORITY

According to Section 11 of the Act, the CIA Board has the authority to do any of the following:

- (a) Prepare an analysis of economic changes taking place in the development area.
- (b) Study and analyze the impact of metropolitan growth upon the development area.
- (c) Plan and propose the construction, renovation, repair, remodeling, rehabilitation, restoration, preservation, or reconstruction of a public facility, an existing building, or a multiple-family dwelling unit which may be necessary or appropriate to the execution of a plan which, in the opinion of the board, aids in the economic growth of the development area.
- (d) Plan, propose, and implement an improvement to a public facility within the development area to comply with the barrier free design requirements of the state construction code promulgated under the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MCL 125.1501 to 125.1531.
- (e) Develop long-range plans, in cooperation with the agency that is chiefly responsible for planning in the municipality, designed to halt the deterioration of property values in the development area and to promote the economic growth of the development area, and take steps as may be necessary to persuade property owners to implement the plans to the fullest extent possible.
- (f) Implement any plan of development in the development area necessary to achieve the purposes of this act in accordance with the powers of the authority granted by this act.
- (g) Make and enter into contracts necessary or incidental to the exercise of its powers and the performance of its duties.
- (h) On terms and conditions and in a manner and for consideration the authority considers proper or for no consideration, acquire by purchase or otherwise, or own, convey, or otherwise dispose of, or lease as

lessor or lessee, land and other property, real or personal, or rights or interests in the property, that the authority determines is reasonably necessary to achieve the purposes of this act, and to grant or acquire licenses, easements, and options.

- (i) Improve land and construct, reconstruct, rehabilitate, restore and preserve, equip, improve, maintain, repair, and operate any building, including multiple-family dwellings, and any necessary or desirable appurtenances to those buildings, within the development area for the use, in whole or in part, of any public or private person or corporation, or a combination thereof.
- (j) Fix, charge, and collect fees, rents, and charges for the use of any facility, building, or property under its control or any part of the facility, building, or property, and pledge the fees, rents, and charges for the payment of revenue bonds issued by the authority.
- (k) Lease, in whole or in part, any facility, building, or property under its control.
- (l) Accept grants and donations of property, labor, or other things of value from a public or private source.
- (m) Acquire and construct public facilities.
- (n) Conduct market research and public relations campaigns, develop, coordinate, and conduct retail and institutional promotions, and sponsor special events and related activities.
- (o) Contract for broadband service and wireless technology service in a development area.

Also, notwithstanding any other provision of this act, in a qualified development area the board may, in addition to the powers enumerated in subsection (1), do 1 or more of the following:

- (a) Perform any necessary or desirable site improvements to the land, including, but not limited to, installation of temporary or permanent utilities, temporary or permanent roads and driveways, silt fences, perimeter construction fences, curbs and gutters, sidewalks, pavement markings, water systems, gas distribution lines, concrete, including, but not limited to, building pads, storm drainage systems, sanitary sewer systems, parking lot paving and light fixtures, electrical service, communications systems, including broadband and high-speed internet, site signage, and excavation, backfill, grading of site, landscaping and irrigation, within the development area for the use, in whole or in part, of any public or private person or business entity, or a combination of these.
- (b) Incur expenses and expend funds to pay or reimburse a public or private person for costs associated with any of the improvements described in subdivision (a).
- (c) Make and enter into financing arrangements with a public or private person for the purposes of implementing the board's powers described in this section, including, but not limited to, lease purchase agreements, land contracts, installment sales agreements, sale leaseback agreements, and loan agreements.

THE HILL ROAD CORRIDOR

As shown on Page 9, the Hill Road Corridor is an approximate 2 mile stretch of Hill Road from Jennings Road on the east to Fenton Road on the west. While covering all of the frontage properties along Hill Road, the district includes several properties and developments located to the rear of the frontage sites. The corridor is characterized as a four lane highway with a center turn lane and full access to properties fronting Hill Road. Both US-23 and I-75 intersect Hill Road, but US-23 is the only highway with a full access interchange. Northbound US-23 merges with Northbound I-75 just a mile north of Hill Road.

Map 1: Existing Land Use depicts the variety of uses that exist along the corridor beginning with single-family on the western end toward Jennings Road and the introduction of commercial and industrial uses from just west of Torrey Road eastward until Fenton Road. As expected, many office, retail, fast food, hotel and restaurant uses are in close proximity to the US-23 interchange. Just east of the US-23 interchange a mixture of unrelated uses take form and continue until the end of the district at Fenton Road. The district lacks a cohesive identity, which is made difficult by the infusion of retail commercial, heavy commercial, office and industrial uses, many times side-by-side. The majority of the properties are occupied by older buildings and sites while the mixing of land uses makes it difficult to encourage redevelopment. Few are willing to invest in say a new office building when an old industrial building with unscreened outside storage is located next door.

On a more positive note, the Hill Road Corridor is also home to many quality retail businesses including Meijer, Hampton Inn, Home Depot, Marriott Extended Stay, McDonald's, Wendy's, Chase Bank, etc. and provides a solid base for attracting complementary uses. The Gateway Centre development on the northeast side of the US-23 interchange is home to a significant number of office buildings and supporting retail and hospitality uses. Both Meijer and Home Depot serve as anchors for existing and potential future retailers in the corridor.

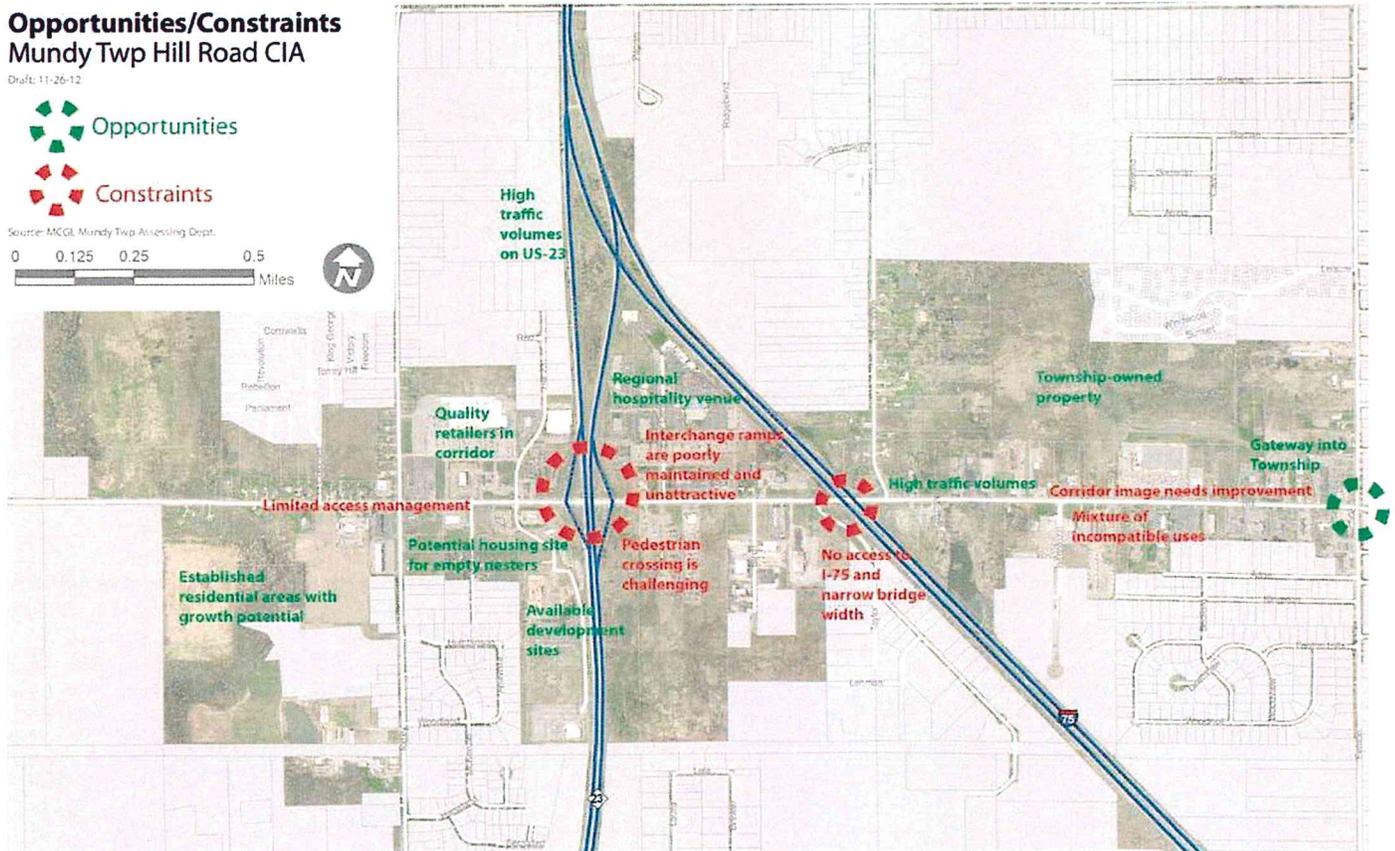
Directly behind Home Depot is a 100 acre parcel of land that is owned by Mundy Township and is accessed by lots located on Hill Road and Van Slyke Road. The property also abuts the Carman-Ainsworth Middle School campus to the north and contains woodlands and a stream running through it. One of the goals of the development plan is to prepare a conceptual plan showing how the property could be used for the betterment of the township and the Hill Road Corridor.

THE NEED FOR A CORRIDOR IMPROVEMENT AUTHORITY

As mentioned above, the Hill Road Corridor currently serves as a disjointed mix of land uses with some development being good and some not so good. One of the comments made at a focus group session with business and property owners is the lack of a cohesive identity and branding that can be marketed to the outside world. Other improvements identified include:

- A. THE NEED FOR IMPROVED AESTHETICS WITH IMPROVED STREETScape, SIGNAGE, BUILDING DESIGN AND SITE LANDSCAPING;**
- B. BETTER VEHICULAR ACCESS TO SITES AND IMPROVED TRAFFIC SAFETY THROUGHOUT THE CORRIDOR;**

- C. CREATION OF PUBLIC MEETING AREAS WHERE SPECIAL EVENTS AND ACTIVITIES FOR THE PUBLIC AND SHOPPERS CAN BE HELD BY A BUSINESS ASSOCIATION AND THE TOWNSHIP;
- D. IMPROVED UTILIZATION OF UNDEVELOPED PROPERTIES, INCLUDING THE TOWNSHIP-OWNED PARCEL BEHIND HOME DEPOT AND THE PARCEL AT THE SOUTHEAST CORNER OF HILL ROAD AND US-23, POSSIBLY AS A CONVENTION CENTER;
- E. REDEVELOP UNDER-UTILIZED SITES ALONG HILL ROAD AND CLUSTER RETAIL, INDUSTRIAL AND OFFICE USES TOGETHER, RATHER THAN HAVING THEM SCATTERED ALONG THE CORRIDOR;
- F. MAKING THE CORRIDOR MORE PEDESTRIAN-FRIENDLY WITH SIDEWALKS AND PATHWAY CONNECTIONS, ESPECIALLY OVER US-23 AND I-75.



LEGAL BASIS OF THE PLAN

The Development Plan and Tax Increment Financing Plan are prepared pursuant to the requirements of Sections 18 and 21 of the Corridor Improvement Authority Act (Act 280 of 2005), as amended. More specifically, Section 21 of the Act states that “if a board decides to finance a project in a development area by the use of revenue bonds as authorized in Section 16 or Tax Increment Financing as authorized in Sections 18, 19, and 20, it shall prepare a Development Plan.

DEVELOPMENT PLAN REQUIREMENTS

Section 21 also indicates that the development plan shall contain all of the following:

A. THE DESIGNATION OF BOUNDARIES OF THE DEVELOPMENT AREA IN RELATION TO HIGHWAYS, STREETS, STREAMS, OR OTHERWISE.

The plan herein addresses the geographic boundaries of the Corridor Improvement District as established by the Mundy Township Board and a boundaries map is found in the appendix along with a formation resolution and ordinance.

B. THE LOCATION AND EXTENT OF EXISTING STREETS AND OTHER PUBLIC FACILITIES WITHIN THE DEVELOPMENT AREA, DESIGNATING THE LOCATION, CHARACTER, AND EXTENT OF THE CATEGORIES OF PUBLIC AND PRIVATE LAND USES THEN EXISTING AND PROPOSED FOR THE DEVELOPMENT AREA, INCLUDING RESIDENTIAL, RECREATIONAL, COMMERCIAL, INDUSTRIAL, EDUCATIONAL, AND OTHER USES, AND INCLUDING A LEGAL DESCRIPTION OF THE DEVELOPMENT AREA.

Maps for existing land use, future land use, and a legal description for the CIA District are found in the appendix.

C. A DESCRIPTION OF EXISTING IMPROVEMENTS IN THE DEVELOPMENT AREA TO BE DEMOLISHED, REPAIRED, OR ALTERED, A DESCRIPTION OF ANY REPAIRS AND ALTERATIONS, AND AN ESTIMATE OF THE TIME REQUIRED FOR COMPLETION.

The description of existing improvements to be demolished and associated schedule for implementation is provided in this plan under the heading “Proposed Improvements.”

D. THE LOCATION, EXTENT, CHARACTER, AND ESTIMATED COST OF THE IMPROVEMENTS INCLUDING REHABILITATION CONTEMPLATED FOR THE DEVELOPMENT AREA AND AN ESTIMATE OF THE TIME REQUIRED FOR COMPLETION.

To expand upon what was indicated above, the location, character and estimated cost/timing of the improvements is provided in this plan under the heading “Proposed Improvements.”

E. A STATEMENT OF THE CONSTRUCTION OR STAGES OF CONSTRUCTION PLANNED, AND THE ESTIMATED TIME OF COMPLETION OF EACH STAGE.

A description, including cost estimate and schedule of implementation, for each improvement project that will be completed within the district is contained in the project schedule and budget in this plan under "Proposed Improvements."

F. A DESCRIPTION OF ANY PARTS OF THE DEVELOPMENT AREA TO BE LEFT AS OPEN SPACE AND THE USE CONTEMPLATED FOR THE SPACE.

The development plan includes a future land use plan for the entire corridor that identifies proposed open space. This plan is also supplemented by the conceptual designs prepared for the township-owned property, which includes openspace.

G. A DESCRIPTION OF ANY PORTIONS OF THE DEVELOPMENT AREA THAT THE AUTHORITY DESIRES TO SELL, DONATE, EXCHANGE, OR LEASE TO OR FROM THE MUNICIPALITY AND THE PROPOSED TERMS.

The conceptual plan for the township-owned property and corresponding narrative describes the potential sale, lease or donation of land in the corridor. At the present time, this is the only property identified for this transfer.

H. A DESCRIPTION OF DESIRED ZONING CHANGES AND CHANGES IN STREETS, STREET LEVELS, INTERSECTIONS, TRAFFIC FLOW MODIFICATIONS, OR UTILITIES.

Proposed changes in zoning and infrastructure such as streets, sidewalks, utilities, etc. are found in the Implementation Section of the Development Plan.

I. AN ESTIMATE OF THE COST OF THE DEVELOPMENT, A STATEMENT OF THE PROPOSED METHOD OF FINANCING THE DEVELOPMENT, AND THE ABILITY OF THE AUTHORITY TO ARRANGE THE FINANCING.

A description, including cost estimate and schedule of implementation, for each improvement project that will be completed within the district is contained in the project schedule and budget in this plan under "Proposed Improvements."

J. DESIGNATION OF THE PERSON OR PERSONS, NATURAL OR CORPORATE, TO WHOM ALL OR A PORTION OF THE DEVELOPMENT IS TO BE LEASED, SOLD, OR CONVEYED IN ANY MANNER AND FOR WHOSE BENEFIT THE PROJECT IS BEING UNDERTAKEN IF THAT INFORMATION IS AVAILABLE TO THE AUTHORITY.

Information concerning the names of people for whom benefits may accrue is unknown at this time and will not be available until phases of implementation are underway.

K. THE PROCEDURES FOR BIDDING FOR THE LEASING, PURCHASING, OR CONVEYING IN ANY MANNER OF ALL OR A PORTION OF THE DEVELOPMENT UPON ITS COMPLETION, IF THERE IS NO EXPRESS OR IMPLIED AGREEMENT BETWEEN THE AUTHORITY AND PERSONS, NATURAL OR CORPORATE, THAT ALL OR A PORTION OF THE DEVELOPMENT WILL BE LEASED, SOLD, OR CONVEYED IN ANY MANNER TO THOSE PERSONS.

All such procedures will follow both township and state law and at the present time there are no commitments made.

- L. ESTIMATES OF THE NUMBER OF PERSONS RESIDING IN THE DEVELOPMENT AREA AND THE NUMBER OF FAMILIES AND INDIVIDUALS TO BE DISPLACED. IF OCCUPIED RESIDENCES ARE DESIGNATED FOR ACQUISITION AND CLEARANCE BY THE AUTHORITY, A DEVELOPMENT PLAN SHALL INCLUDE A SURVEY OF THE FAMILIES AND INDIVIDUALS TO BE DISPLACED, INCLUDING THEIR INCOME AND RACIAL COMPOSITION, A STATISTICAL DESCRIPTION OF THE HOUSING SUPPLY IN THE COMMUNITY, INCLUDING THE NUMBER OF PRIVATE AND PUBLIC UNITS IN EXISTENCE OR UNDER CONSTRUCTION, THE CONDITION OF THOSE UNITS IN EXISTENCE, THE NUMBER OF OWNER-OCCUPIED AND RENTER-OCCUPIED UNITS, THE ANNUAL RATE OF TURNOVER OF THE VARIOUS TYPES OF HOUSING AND THE RANGE OF RENTS AND SALE PRICES, AN ESTIMATE OF THE TOTAL DEMAND FOR HOUSING IN THE COMMUNITY, AND THE ESTIMATED CAPACITY OF PRIVATE AND PUBLIC HOUSING AVAILABLE TO DISPLACED FAMILIES AND INDIVIDUALS.**

At the present time, no known relocation of families or individuals will take place within the scope of this proposed Development Plan or Tax Increment Financing Plan. Should said displacement be planned during implementation of the plan, the above information will be gathered accordingly.

- M. A PLAN FOR ESTABLISHING PRIORITY FOR THE RELOCATION OF PERSONS DISPLACED BY THE DEVELOPMENT IN ANY NEW HOUSING IN THE DEVELOPMENT AREA.**

At the present time, no known relocation of families or individuals will take place within the scope of this proposed Development Plan or Tax Increment Financing Plan.

- N. PROVISION FOR THE COSTS OF RELOCATING PERSONS DISPLACED BY THE DEVELOPMENT AND FINANCIAL ASSISTANCE AND REIMBURSEMENT OF EXPENSES, INCLUDING LITIGATION EXPENSES AND EXPENSES INCIDENT TO THE TRANSFER OF TITLE, IN ACCORDANCE WITH THE STANDARDS AND PROVISIONS OF THE UNIFORM RELOCATION ASSISTANCE AND REAL PROPERTY ACQUISITION POLICIES ACT OF 1970, PUBLIC LAW 91-646, 84 STAT. 1894.**

At the present time, no known relocation of families or individuals will take place within the scope of this proposed Development Plan or Tax Increment Financing Plan.

- O. A PLAN FOR COMPLIANCE WITH 1972 PA 227, MCL 213.321 TO 213.332.**

At the present time, no known relocation of families or individuals will take place within the scope of this proposed Development Plan or Tax Increment Financing Plan.

- P. THE REQUIREMENT THAT AMENDMENTS TO AN APPROVED DEVELOPMENT PLAN OR TAX INCREMENT PLAN MUST BE SUBMITTED BY THE AUTHORITY TO THE GOVERNING BODY FOR APPROVAL OR REJECTION.**

Any amendments to the plan will be approved by the Township Board per the Corridor Improvement Act.

- Q. A SCHEDULE TO PERIODICALLY EVALUATE THE EFFECTIVENESS OF THE DEVELOPMENT PLAN.**

The Implementation Section of the plan identifies those responsible to evaluate effectiveness of the plan and appropriate time frames.

R. OTHER MATERIAL THAT THE AUTHORITY, LOCAL PUBLIC AGENCY, OR GOVERNING BODY CONSIDERS PERTINENT.

The plan includes conceptual layouts for the township-owned property that are approved under this Development Plan.

DESIGNATION OF BOUNDARIES

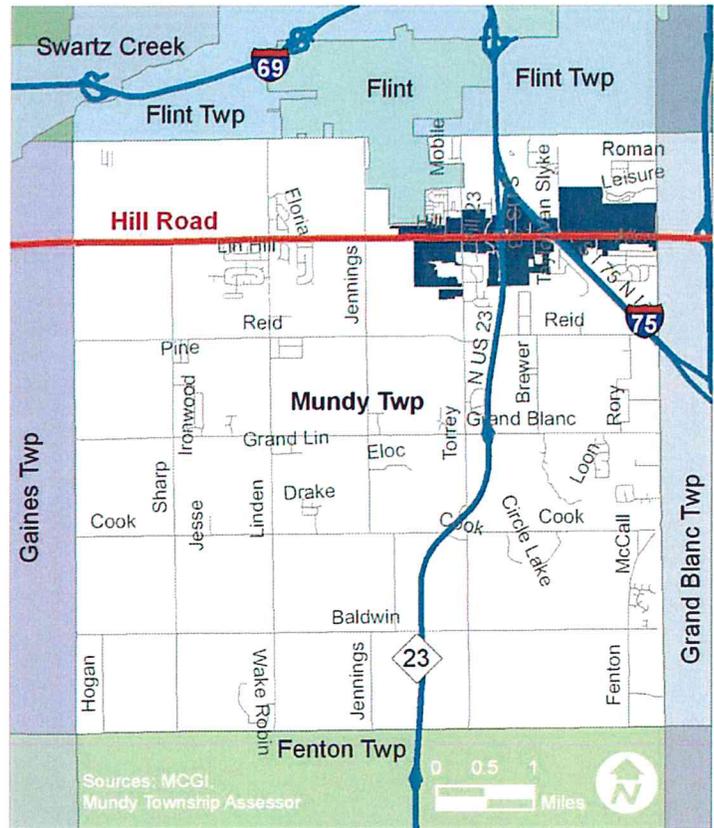
The boundaries for the Corridor Improvement District are shown to the right. Included are the frontage properties on Hill Road with some of the larger parcels to the rear. The general boundary limits are from Jennings Road on the west to Fenton Road on the east. The legal description is found in Appendix B along with the formation resolution and ordinance.

EXISTING LAND USE

As indicated in the Hill Road Corridor description, the district encompasses a wide variety of land uses including office, retail, industrial, residential, hospitality and open space. There are also parcels that contain significant environmental features such as lakes, wetlands and woodlands. Existing Land Uses are shown on Map 1: Existing Land Use.

EXISTING ZONING

As with the existing land use, the existing zoning for the district includes a wide range of designations, as illustrated on Map 2: Existing Zoning. They include a variety of residential, commercial and industrial districts scattered along the corridor. One of the goals of this plan will be to create a transition in land uses and corresponding zoning, especially on the eastern end of the corridor district. It is anticipated that these zoning districts will likely change as a result of this corridor plan, both in text and on the official zoning map.

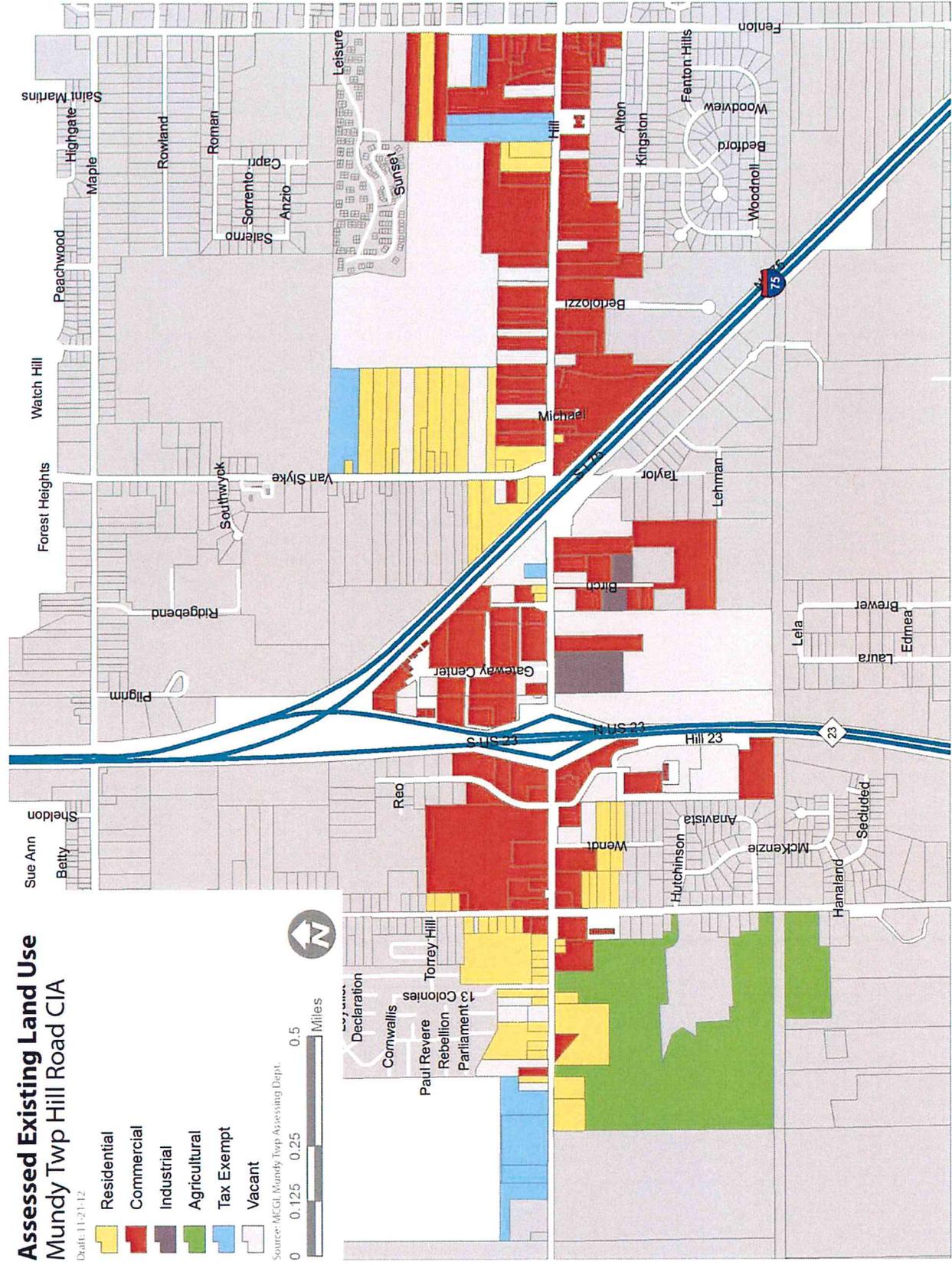


Assessed Existing Land Use Mundy Twp Hill Road CIA

Date: 11-21-12

- Residential
- Commercial
- Industrial
- Agricultural
- Tax Exempt
- Vacant

Source: MCGI, Mundy Twp Assessing Dept.



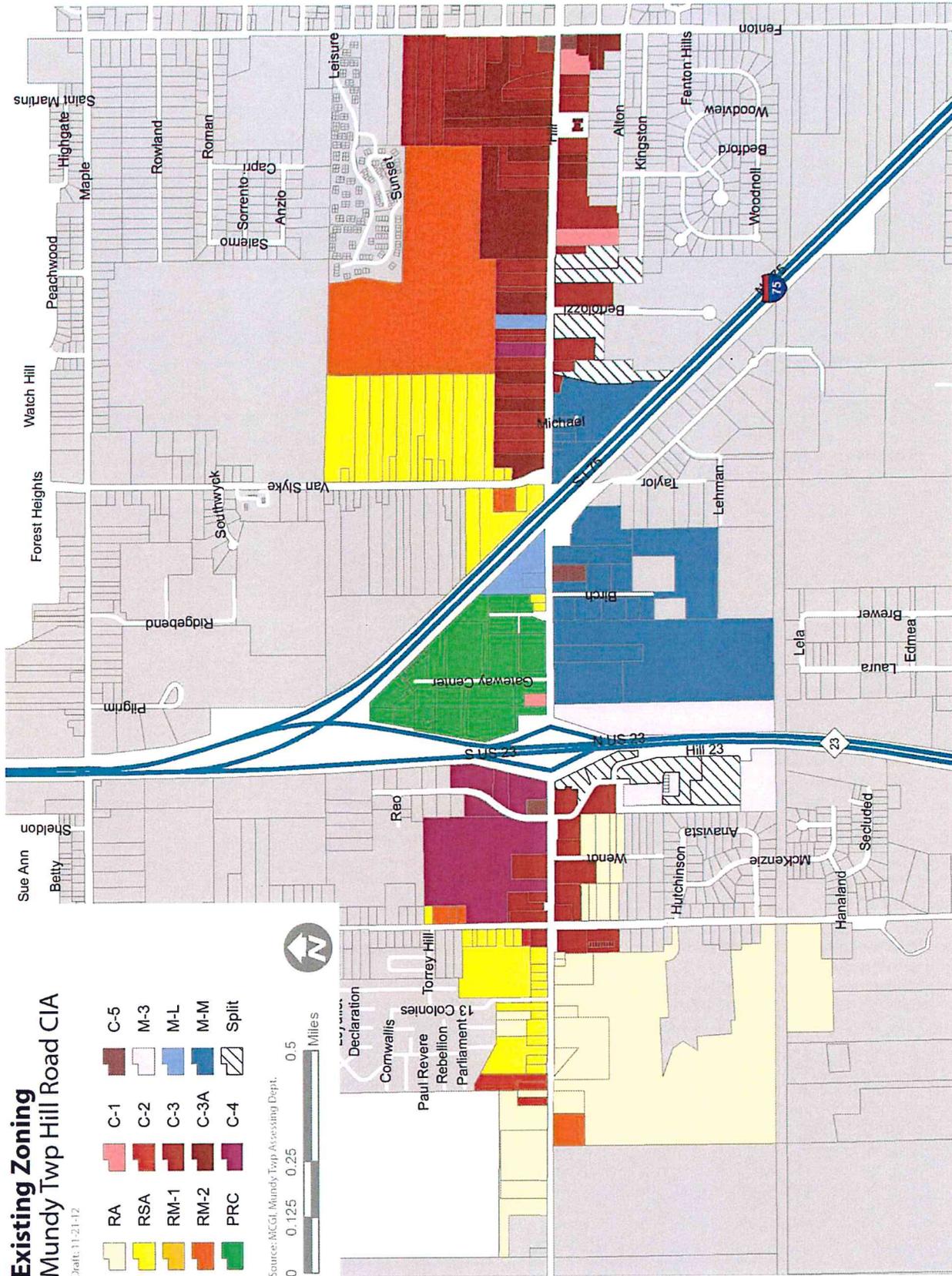
Existing Zoning

Mundy Twp Hill Road CIA

Draft: 11-21-12

- | | | | | | |
|--|------|--|------|--|-------|
| | RA | | C-1 | | C-5 |
| | RSA | | C-2 | | M-3 |
| | RM-1 | | C-3 | | M-L |
| | RM-2 | | C-3A | | M-M |
| | PRC | | C-4 | | Split |

Source: MCGI, Mundy Twp Assessing Dept.



OPEN SPACE AND UNDEVELOPED AREAS

Although the majority of the frontage along the corridor is developed, there are still a number of undeveloped parcels and this plan will identify areas planned for open space. As shown on Map 1, Existing Land Use, a significant amount of vacant land can be found on the western edge of the corridor. This is just beyond the residential edge of the district and abuts airport-owned property on the north side of Hill Road. A number of undeveloped lots are found along Hill 23 Drive/Rashelle Drive in a business park setting and are intended for continued office and retail development. The next significant clustering of undeveloped land is at the southeast corner of US-23 and Hill Road. There is a considerable amount of frontage along US-23 and the vacant land wraps around the back of two industrial/heavy commercial properties. If combined with other properties, this would provide a significant amount of land for a new development site.

Moving farther to the west, there is a large parcel on the south side of Hill Road, west of the I-75 overpass, that can be accessed from Michael Drive. It contains a small lake and has good visibility from I-75, even though there is not an interchange at that location. The last large vacant parcel is owned by the Township and located to the rear of Home Depot. It can be accessed from outlots on Hill Road, west of Home Depot, and Van Slyke Road, north of the Hill Road intersection. This parcel is slated for a mixed use development that will include substantial amounts of open space, including for recreational purposes. Additional scattered vacant parcels are located throughout the Hill Road Corridor and are best suited for coordinated development that will meet the goals of this Development Plan.

PUBLIC INVOLVEMENT

A primary goal of this corridor planning effort was to provide the public with numerous opportunities to provide input and express their vision for the future of the Hill Road Corridor. They included: a Visioning Session; a Focus Group Session with business and property owners; two (2) Public Open House Sessions at the Township Hall; a survey with a link to the Mundy Township Website; and a final public presentation before the Township Board. Some of the key recommendations (without duplication) out of those sessions and activities are as follows:

Visioning and Focus Group Sessions

- * Enhance building exteriors
- * Reduce standardized sign sizes
- * Add bike paths and sidewalks to connect residents and shopping
- * Eliminate commercial properties after Torrey Road west
- * Add non-motorized trails or lanes to connect neighboring communities
- * Create entertainment district for hotels in area
- * Construct a boulevard with restricted left turns
- * Develop a conference center/hotel/sports venue
- * Upgrade the industrial area
- * Exit/entrance ramps from I-75
- * Eliminate blight, clean, make you want to stop, IMAGE!
- * Identification that you are entering Mundy Township
- * Improve lighting
- * Mixture of uses for township-owned property including recreation, housing commercial and public uses

- * More restaurants and boutique shopping
- * Add streetscape to US-23 interchange
- * Need to maintain high level of public safety (police)
- * To provide “small town” service to visitors
- * Some sort of Hill Road business association
- * Develop “Experience” economy: Unique with brand, downtown or hometown-feel (Mundy Village)
- * Create a right turn lane to Fenton Road south from east bound Hill Road
- * Place appropriate uses (retail/office) on Hill Road frontage to shield view of industrial uses

Open House Sessions

The two Open House Sessions provided participants with an opportunity to review the analysis and preliminary recommendations of the Development Plan. Information and images were displayed on presentation boards and people were asked to provide comments regarding approval or disapproval. Overall, participants were supportive of the concepts presented, most of which reflected ideas presented at the Visioning and Focus Group Sessions. The series of images for the Township-owned property received the most interest, especially since a 3-D model was used to create renderings of what the development might look like. Overall, participants liked the mixture of uses and integration of recreation with commercial, public and housing components of the project.

On-line Survey

Participants in the on-line survey were asked a series of questions prepared by the consulting team and representatives from the Township. Over 100 people responded to the survey with 87% living in Mundy Township, 19% living along the Hill Road Corridor and 13% owning property there. Nearly 8% of the respondents own a business along the corridor and nearly 86% think their business will still be located there in 5 years. When people were asked how often they visit the Hill Road Corridor for shopping, work, dining or related activities, 4% said daily while another 54% said several times a week. Respondents also indicated the need for more restaurants and retailers, including big box uses, while having an adequate number of the other existing businesses. These responses suggest a strong loyalty to local business amongst Mundy Township residents and confidence that the corridor will continue to improve.

Respondents were also asked about safety in the corridor with the majority feeling very safe (30%) or somewhat safe (38%) when driving but many people feeling very unsafe (34%) or somewhat unsafe (18%) when walking along Hill Road. This confirms the feedback received at the Visioning Session where people like the vehicular access and circulation along the corridor but felt that it was not a safe corridor to walk along. Another question asked participants to rate the appearance of the entrance to Hill Road from the on/off ramps at the US-23/Hill Road interchange. The majority of the responses were Somewhat Unattractive and Unwelcoming (41%) or Very Unattractive and Unwelcoming (11%).

The survey also asked participants to rate the strengths and weaknesses along the Hill Road Corridor. The strengths included access from home, work, US-23 and other expressways. The neighborhoods and variety of businesses in the corridor also received high marks. Areas of weakness included ability to walk and bike, attractiveness of corridor, signs, landscaping and awareness of being in Mundy Township. Once again, these responses confirmed the comments received at the other public involvement sessions.

Lastly, the survey asked about the type of land uses that should be included in the development of the Township-owned property. There was a wide discrepancy on the senior housing response with 31% saying it is Somewhat Important and 24% saying it was Very Unimportant. Likewise, over 50% of the respondents considered a Private Recreation Center important or neutral while 33% considered it Very Unimportant. Both Single-Family Homes (36%) and Condominiums/Townhouses (39%) were considered Very Unimportant.

Heavily favored uses included ball fields, park land, public library and an amphitheater/gathering place. Since the majority of the participants were residents, the above responses are not surprising.

Note: Complete summaries of the public involvement efforts can be found in Appendix C of this document.

Final Public Presentation

After completion of the draft corridor plan, a final public presentation was made before the Township Board. Questions about the plan included the Library Millage. Most were in support of the CIA and the benefits it would provide.

PHYSICAL CORRIDOR ANALYSIS

Hill Road is the central transportation artery of Mundy Township and one of the area's fastest growing corridors. The area includes several institutions of higher learning, shopping centers, connections to an international airport and numerous other small businesses such as restaurants and financial institutions. This area is primed and ready for local economic development and is viewed as an attractive place for technology and light industrial businesses to start, expand, or relocate. The corridor's main asset when attracting companies is its proximity to workers and connection to area highways and interstates. This potential traffic, coupled with that of the local residents make safety a growing issue.

The transportation industry is challenged with improving aging infrastructure and increasing transportation safety and transportation security in the face of extremely limited funding. Applying multi-modal transportation expertise and state-of-the-art technologies to allow for safe travels makes an area a desirable location on many levels. The Hill Road corridor has had some safety issues in the past as traffic enters and exits the crossing interstates and the drivers fail to adjust to the change in speed of the vehicles around them. This also includes going from a limited access facility to that of a local roadway where pedestrians are ever present. Therefore, a focus on safety is a must in order for the Hill Road area to develop as expected.

As a result of shifting focus toward multi-modal planning at the State level, recent improvements on Hill Road have started to reveal additional non-motorized potential. These include the reconstruction of the bridge over US-23, which included wide pedestrian walkways, and the intersection improvements at Fenton Road, which provide modern crosswalks. The strategies below are provided not only to continue enhancing the non-motorized environment, but also to improve the motorized environment as well. They are intended to improve safety and provide alternative travel options for all users of the roadway.



Connectivity

Strengthening the area's street connectivity can play an important, and cost-effective, role in maintaining a highly functional roadway network. Ultimately, it will not be financially, physically or socially possible to continue widening roads to provide the road capacity needed to meet future demand. An inter-connected system can alleviate this demand by disbursing traffic throughout the network rather than channeling it to one or two key corridors thus substantially reducing the need for costly road widening projects.

The Township's Subdivision design requirements currently requires logical street extensions from existing development, stub roads to future development parcels, and 5 foot wide sidewalks along all road frontages. If implemented, these requirements will result in connectivity between local roads and sidewalks. Such connections provide residents multiple routes of ingress and egress, which are especially helpful during times of emergency or during peak traffic times. For this to occur, the provisions in the Subdivision Ordinance must first be required during plan review, then monitored to determine when deferred improvements or road connections should be required, and enforced by the Township when such facilities are needed. In some cases, this has occurred and should be used as a model for future development, and in others, more vigilant enforcement of local codes may be needed. For example, the residential development at the southwest corner of Hill Road and Jennings Road was set up so that sidewalk facilities are constructed as each home is built. When the development is built out, this incremental construction will eventually result in a fully-connected sidewalk network.

An example where enforcement is needed is in the community north of Hill Road and west of Torrey Road. A stub road connection (13 Colonies Lane) has had land set aside but has not been constructed despite the residential community being fully occupied.

Even though there are benefits to increased street connectivity, care must be taken to ensure that the local street connectivity requirements do not result in unreasonable impacts to existing residential areas through excessive traffic volumes and/or speed. Keeping this in mind, the Hill Road Corridor Plan began with the review of Genesee County's existing regulations regarding street connectivity. Genesee County's Comprehensive Plan was also reviewed to ascertain the goals, objectives, and policies in relation to street connectivity.

Boulevard Design

In the United States, congestion at intersections throughout urban and suburban areas continues to worsen. Crashes reported at intersections have continued to increase. One potential treatment to combat congestion and safety problems at intersections is the Median U-Turn Intersection Treatment (MUTIT or "Michigan Left"), which has been used extensively in Michigan for many years and has been implemented successfully in Florida, Maryland, New Jersey, and Louisiana in recent years. The treatment involves the elimination of direct left turns at signal-controlled intersections from major and/or minor approaches. Drivers desiring to turn left from the major road onto an intersecting cross street must first travel through the at-grade, signal-controlled intersection and then execute a U turn at the median opening downstream of the intersection. These drivers then can turn right at the cross street. Because the right-of-way of Hill Road is not sufficiently wide to accommodate the width required for a MUTIT, a narrow median is proposed instead.

Implementing a narrow median boulevard concept on portions of Hill Road will increase safety for all users of the right-of-way. It can provide a safe haven for the crossing pedestrians and other non-motorized travelers. It can also aid in the access management concepts outlined below. Additionally, providing medians cause a reduction in average speeds which



will greatly benefit safety and reduce rear end crashes. This will create a higher level-of-service for both the roadway and the intersections in the area.

A narrow median is proposed for the areas at the west and east ends of the corridor study area to serve as gateways to the proposed district. Medians at these locations will not interfere significantly with the turning movements of cars requiring left turns as driveways are few. The construction of the median will be lead by the Genesee County Road Commission, but it is recommended here for its contribution to the character of the corridor. Landscaping and signage included in the median would help create a clear sense of entry and exit to Mundy Township’s key commercial district.

Sidewalks

The Hill Road Corridor contains almost no sidewalks. There are sidewalks provided on both sides of the roadway across US-23 and extend about 100 feet in both directions past the bridge (as seen below). There are also crosswalks at the intersection on the eastern end of the study area.

It is recommended that sidewalks be provided on both sides throughout the corridor with the exception of the area crossing I-75 where only sidewalks on the south side are needed (see “Pedestrian Bridge” section). These sidewalks should be a minimum of 6 feet wide to meet AASHTO standards and are recommended to be 8 feet wide or wider where right-of-way space exists. Making the sidewalks wider will allow for multi-purpose paths that can accommodate bicyclists as well as pedestrians. The Hill Road Corridor can be very dangerous due to the traffic volumes and speeds, for bicyclists, and thus ample sidewalk space is needed for safety and comfort of bicyclists.



Crosswalks

Pedestrians are at risk whenever they cross any roadway. The degree of risk depends on the complexity of the vehicular and pedestrian traffic patterns and the effectiveness of supplementary information provided regarding the crossing location, direction, and duration. At street intersections, turning vehicles and the speed at which they travel pose the greatest threat to pedestrians because the motorist’s attention is focused primarily on other motorists.

In addition to the geometric design of the intersection, pedestrian safety also relies heavily on the information that is provided to pedestrians (e.g., signs or signals). All pedestrians, including people with vision impairments, need the same information at an intersection. Providing vital information in multiple,

accessible formats (e.g., visual, auditory, tactile) also benefits all pedestrians since information is better recognized and remembered if it is understood by multiple senses. Generally, the more complex the crossing, the more important it is to have accessible information about the crossing location, direction, and duration.

In the Hill Road Corridor there are few pedestrian crossing amenities. Additionally, the amenities available do not currently take into account the timing of the traffic lights in the adjacent roadway. Providing crossing opportunities is the first step to a safer pedestrian network. However, without a proper gap study to show availability of crossing time, the crosswalks can be rendered useless. In some areas a pedestrian haven in the median area could be created to provide additional safety for those crossing Hill Road. Cross walks for the existing conditions of Hill Road should be spaced roughly ¼ mile apart. At this time there are not enough crossings to accommodate pedestrians.

Pedestrian Bridge

The Hill Road Corridor has some limited pedestrian amenities along it, however with US-23 and I-75 both crossing Hill Road in the immediate area, the corridor is essentially trisected. This separation makes pedestrian travel seemingly impossible across the bridges that span the gap over the highways and thus make the continuous feel that the area residents wish to have almost non-existent. The crossing that is of particular concern is that of I-75. The sidewalks end prior to the highway on both the east and the west. Without sidewalks along a roadway, pedestrians can still walk along in the frontage area of the businesses if absolutely needed. Though discouraged it is possible. Walking across an overpass without sidewalks does not have any other options.

The logical solution for this impasse is to add cantilevered sidewalks. This allows the existing roadway to function as normal without any loss of right-of-way. It is also a very inexpensive solution as compared to building a new structure. Examples of these sidewalks can be seen in the images to the right. On the east side of the I-75 overpass on Hill Road the sidewalks are nonexistent all the way back to the US-23 overpass. This is a distance of ½ mile. On the west side of the overpass the sidewalks are also nonexistent all the way to the crosswalks at Fenton Road which is just over 1 mile away.

To keep the costs as reasonable and feasible as possible, the cantilevered sidewalks should be placed on one side of the overpass only. Based on the existing infrastructure in the area the south side of the overpass would be the most logical. This however would lead to another need, in the form of crosswalks. If the cantilevered sidewalks are only on one side then people on the other side of Hill Road would need safe access. On the east side there is an approach from the south that is Taylor Drive. This is the most logical place to position a cross walk on this side of the overpass. On the west side there is a similar approach but from the north. Van Slyke Road is the logical place for the crosswalk on the east side of the overpass.



A cantilevered bridge on the south side of Hill Road across I-75 would be the most

desirable and safest solution for pedestrians. It would also utilize existing infrastructure and greatly reduce the cost of construction rather than building a second pedestrian-only span. This concept also has other benefits such as a platform for branding signage. A gateway type sign for Mundy can be placed on the pedestrian bridge for the passing motorists to see, contributing to the Township's brand and image.

Access Management

The management of access to Hill Road, including the location and design of intersections, private driveways, and grade separations, is the single-most critical design element that will determine the quality of transportation service along the highway. Studies have shown that access management strategies can reduce total crashes by up to 60%, improve capacity by 20 to 40% and improve travel times by reducing delay approximately 40%. Studies also show a significant reduction in accidents involving pedestrian and bicyclists after the completion of access management plans.

If transportation planning and management of access is not successful, the ability to provide acceptable long-term capacity, travel times and safety will be diminished. In addition, the effectiveness of future Hill Road intensification efforts will be compromised.

TOWNSHIP-OWNED PROPERTY ANALYSIS

Sandwiched between the Home Depot to the south, Carman-Ainsworth Middle School to the north, and residences to the west and east, the approximately 100 acres owned by the Township is uniquely poised for development. The Township also owns long, narrow lots on both Van Slyke Road and Hill Road providing future access to the site. Additional linkages to Fenton Road could be explored with property owners to the east. While the site has not yet been studied for its environmental suitability for development, this corridor planning effort provided an opportunity to develop initial ideas for the types of development that could occur and generally how they could be arranged.



Input was gathered through stakeholder meetings and public workshops for types of desirable land uses, Analysis of the site revealed various opportunities:

Senior Living

- As baby boomers age, more seniors will be looking for a variety of options to “age in place” in Mundy
- Good proximity to proposed civic and retail uses
- Appropriate neighbor to the single-family residential along Van Slyke

Traditional Neighborhood Design

- With adjacent single-family homes and condos, more residential is a logical land use choice
- Traditional neighborhoods are lacking in a more suburban-style Mundy, so this could be a new niche for families looking for small town living with convenient access to schools, parks, retail/service, and civic uses
- Townhouses could provide a buffer between the single-family homes to the north and mixed-use “Main Street” to the south

Retail Gateway

- With the acquisition of the adjacent parcel, the entry off Hill Road could provide a grand entrance “gateway” to the rest of the site behind
- New retail buildings could be designed with good pedestrian connections, screened parking and landscaping

Civic Core

- At the end of the gateway boulevard could be a civic center, with amenities for the township residents that also serve as gathering places
- A focal point at the terminus of the gateway street could provide visibility for downtown, and venues for civic events
- A community center and library were also both mentioned as future amenities the township could use and clustered here would provide an identifiable “town center” for the township

Main Street

- Use the “Main Street” to connect the civic core to the planned neighborhood to the north, and strengthen the idea that this is the “town center”
- There is probably only minimal market for mixed-use “downtown”-type buildings, but as this use does not exist anywhere in the township, part of this site could support this building arrangement
- This district would be easily accessible by the seniors and families living nearby and families visiting the ball fields or community center
- The Main Street district could also provide opportunities for offices and live-work storefronts where artisans or small-business owners could live and work out of the same space
- While not visible off Hill Road directly, this area would need to be a destination attracting visitors or serve the needs of residents living nearby

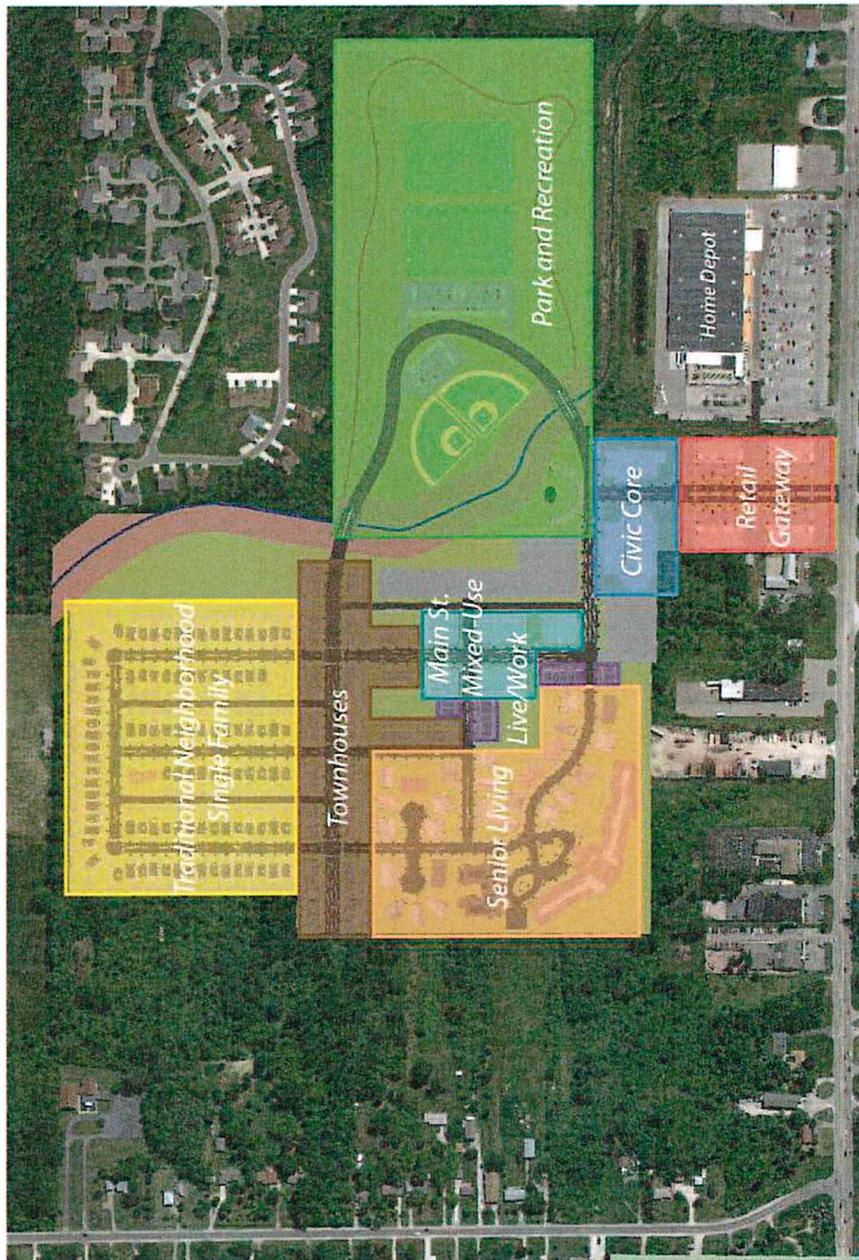
Parks and Recreation

- Throughout the process, residents and stakeholders repeatedly mentioned the need for more recreation opportunities and this site’s scale is large enough that it could support the other uses described above and a significant open space/recreation component
- A mixture of active and passive recreation could co-exist, with several ball fields, preserved open space/woodlands, and a walking trail that connects to a new trail along the drainage creek

PROPOSED IMPROVEMENTS

Based on the analysis above, a series of alternative land use arrangements was developed for the Township-owned property. After review by the project team, a preferred alternative was agreed upon and a 3D model was created to illustrate the possible development plan for the public's reaction. This provides the Township with concepts to present to potential future developers to help illustrate how the site could be developed. The concept plan does not mean that every land use type and form will be built at the exact location it is shown. Instead it gives the Township a general plan to solicit interest from developers.

The following images and descriptions illustrate the key components of the concept plan.



Senior Living

Senior housing is proposed to help fill demand for such housing types, but also to help strengthen the civic core, provide a transition from the core to the single-family neighborhoods that surround the site, and provide a potential catalyst for additional improvements within the district. To accomplish this portion of the project, the following actions are recommended:

- Conduct a detailed market analysis to identify the types of housing needed, from independent living, assisted living, to nursing care options
- Identify potential developer partners that can further the township's vision
- Explore site analysis studies, infrastructure needs and other improvements that could be done by the township that will poise the site for development and incentivize and attract development



Traditional Neighborhood

To address the desire for additional activity downtown, but still provide single-family living options, a traditional neighborhood development is proposed just north of the senior housing area. Both attached single-family (townhomes) and detached single-family homes are envisioned in a neighborhood design that will foster a cohesive character and social environment typical of traditional developments. As with the senior housing, the township may need to partner with a developer to accomplish this portion of the plan, or it may sell the development with a set of guidelines or restrictions, such as those listed below, that will govern the type of neighborhood that will be created.



The following elements may be refined and incorporated into the Zoning Ordinance and Subdivision Ordinances, or attached to the sale of the property as a set of restrictions or guidelines that must be followed:

Street Design. The design of streets can impact how far residents have to walk to local parks, neighbors or other destinations. The idea is to provide a critical mass of residents, in close proximity to jobs, shopping, and mass transit to help reduce reliance on the automobile for transportation. TND streets often include the following:

- Grid pattern
- Narrower widths
- Rear alleys for vehicle parking and service access
- Terminations at focal points

Neighborhood Elements. TNDs consider how public places can shape how residents enjoy their neighborhood. They include elements that will encourage gathering, interaction and activity, such as:

- Community open spaces, including active parks, passive pathways or open space, playgrounds, pocket parks, civic squares, etc.
- Safe sidewalks with convenient routes and access

Housing and Density. TNDs can minimize the environmental impacts associated with extensive roadways. TNDs often employ a variety of land use activities in a single project, such as:

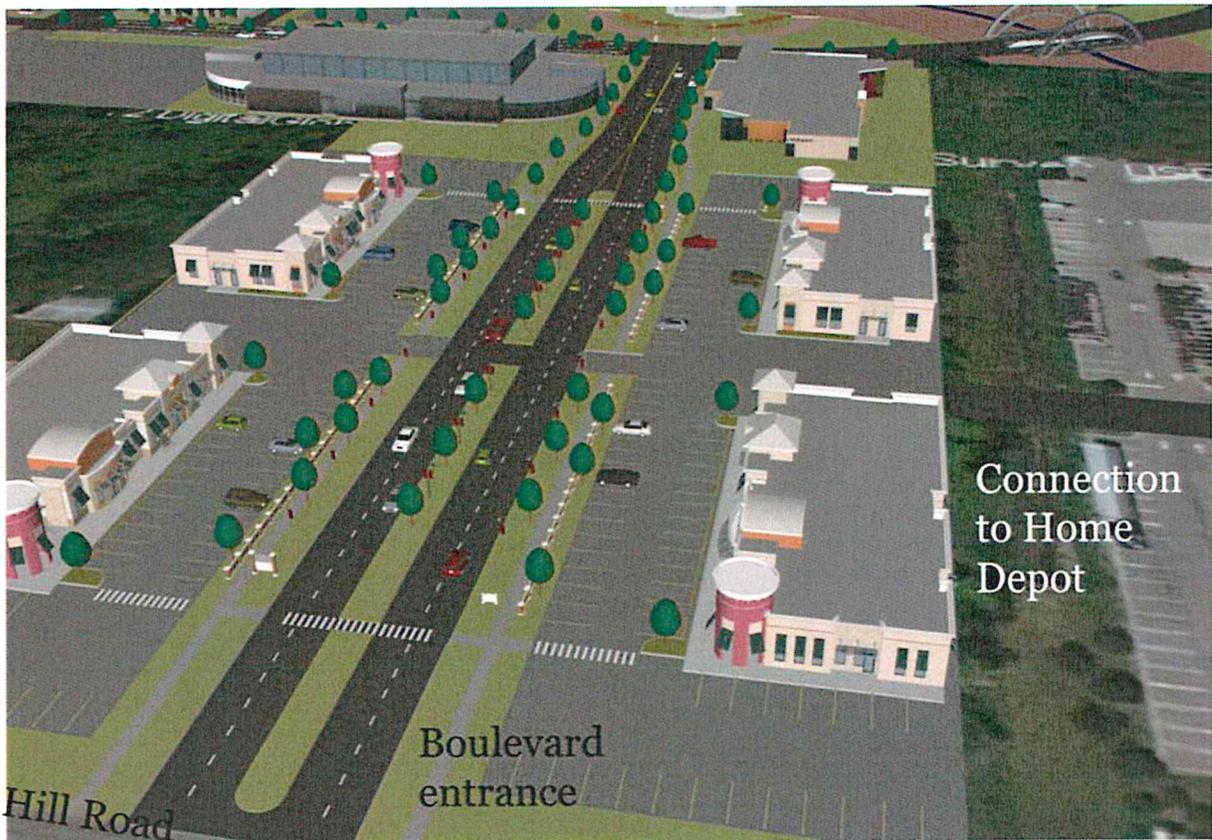
- Narrower lot widths
- Variety of housing types, depending on the context, including townhomes, detached homes, residential over neighborhood commercial uses, live-work units, etc.

Site and Home Design. While the public realm (streets and public property) create a framework for development, they are only a small part of the overall character that is created when a neighborhood is fully developed. TNDs strive to provide a human scale to development, so individual home sites typically include:

- Smaller front yards
- Prominent front porches that can extend close to sidewalks
- Rear yard garages and/or access
- Two-story homes to maximize square footage on smaller sites

Retail Gateway

- Develop the entry off Hill Road as a grand entrance to the civic core.
- Develop a boulevard, with associated landscaping and pedestrian connection, will strengthen this as the gateway to the traditional core.
- Provide a connection to Home Depot to help anchor the retail uses along the boulevard, and alleviate traffic on Hill Road.
- Retail uses should blend the Township's vision for a close-knit, traditional style community, within the existing suburban context. To control the character of development that occurs, the design guidelines that are created for the Hill Road Corridor (see Implementation Section below) should be required here as well.



Civic Core

- Develop a focal point at the terminus of the gateway street that provides visibility from Hill Road and attracts visitors to the core.
- Explore creative options, such as a band shell park or community pavilion to provide opportunities for outdoor concerts and festivals.
- Develop a community center that will not only serve potential residents in the planned senior living and traditional neighborhood areas, but the entire community.
- Develop partnerships with other groups like the Library Board, post office, etc. to work toward locating other civic uses in the core.



Main Street

A traditional main street is envisioned that would connect the civic core to the residential developments discussed above. As the “town center” of the community, stores along Main Street need to present a high-quality appearance that sets the tone for the entire project. As such, it will be most important that the Township maintains control over the character of buildings, orientation of entrances, parking lots, and streetscaping is consistent from building to building, so that, collectively, they represent the Township’s vision. A visual example of this type of development is shown below. This is how the Township envisions the future of Main Street: with buildings located close to the sidewalk, unified streetscaping, wide sidewalks for gathering and seating, engaging storefronts with second-story uses, and an array of transportation options, including bike lanes, sidewalks and pathway connections.



To ensure Main Street is developed according to the vision, the Township will consider a form-based code that will incorporate the following elements:

Lot Sizes. There should be no minimum lot size or width for commercial sites.

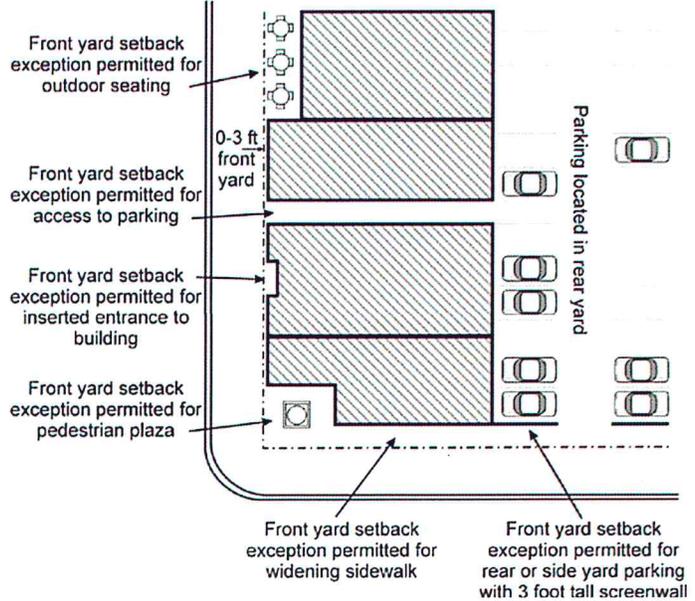
Setbacks. Setback requirements should promote streetscapes that are consistent with the desired character. Consideration for proximity to residential zones should include building transitions (i.e. stepping down building heights as they get closer to residential), buffering requirements and performance standards that will maintain light, air, and the potential for privacy. A consistent front

building line is important to maintaining the proper scale between the public realm (the street) and the private realm (the building), however, some exceptions may be made for the following:

- **Main Entrance.** The front entranceway shall be inset a minimum of three (3) feet from the front building wall to minimize encroachment on the sidewalk
- **Building Projections.** Projections into setbacks should be allowed to project over the public sidewalk provided an 8-foot vertical clearance can be maintained between the sidewalk grade and the projecting element.
- **Recesses.** The entire length of the ground level, street-facing façade should be built to the required front lot line, but design should also include some relief and interest. (some exceptions may be allowed for recessed entrances, outdoor seating, or other practical reasons)

Commercial/Mixed use building placement

Building required to be built to within 3 feet of front lot line except as approved by planning commission for front yard setback exceptions



Building Design. Buildings in the town center should possess certain elements so they attract customers, provide safe access, and contribute to the desired character. The following help accomplish these goals:

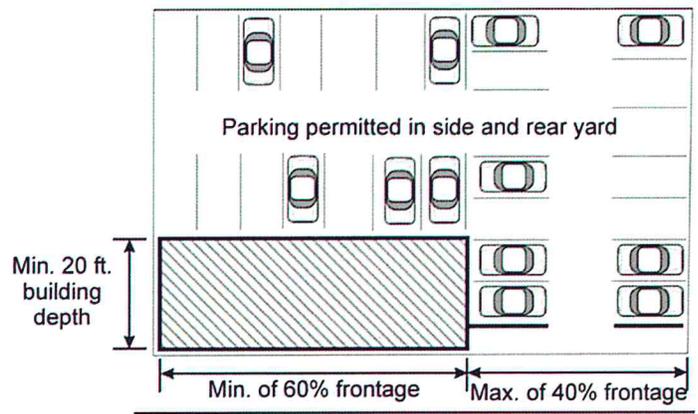
- **Ground Floor Windows.** To encourage window shopping and interaction with pedestrians, windows on the ground level should occupy at least 60% of the front wall area (not including the lowest 4 feet of the wall or area above an 8 foot height). They should remain clear of obstructions.
- **Upper Level Windows.** Upper level windows should maintain a consistent shape, size, orientation and rhythm as adjacent or nearby buildings.
- **Exterior Finish Materials.** Buildings should project the image desired for the downtown. Detailed building design standards may be developed that require use of locally prevalent materials, durable products, and prevent things that may detract from the downtown character, such as use of garish colors or non-traditional materials.



The above drawing is intended to illustrate the application of the design standards in this ordinance, but not require a specific architectural style.

Parking. Parking lots can have a significant impact on downtown functions and aesthetics. Their location must be convenient, yet discreetly located. They must not interfere with pedestrian traffic, which should be the priority in downtown locations. More specifically, downtown parking standards should address the following:

- **Location.** Parking should include either on-street parallel parking, structured parking, or surface lots located in rear or side yards. Side yard parking should only be allowed where rear yard parking cannot be accommodated. In no case should more than 40% of any building site be occupied by parking (meaning the entire remaining 60% should be occupied by building), and any parking that does extend to the front property line should be screened by a screening knee wall or hedge.
- **Number.** Parking requirements are often waived in downtown locations where on-street or other municipal parking is provided. This helps create an incentive to provide the type and quality of development that is desired. In any case, available parking within 500 feet of the site should be considered available for use and can be counted toward the minimum parking requirements.
- **Access Management.** Driveways to downtown main streets should be avoided as much as possible. This means sometimes that drive-through or high-volume uses may not be suitable. Whenever possible, existing driveways shall be removed and access provided to the site from rear access or from an intersecting side street.



Side yard parking permitted with 3 foot tall screenwall setback 3 feet from front lot line

Parks and Recreation

A multi-purpose recreational area is envisioned behind the Home Depot on the other side of the drainage creek from the rest of the development. This park facility could include an array of field and facilities, depending on additional study of local recreational needs. Based on the input from this process, the site is planned to contain baseball/softball fields, soccer/multi-use fields, and a walking trail (see conceptual plan below).



To realize these recreational opportunities, the following additional study is needed:

- Detailed site analysis, including environmental review, is needed to identify suitability of the site for the planned uses or other potential uses.
- Public input regarding local and regional recreational needs may yield additional needs that could be accommodated for the site.
- The Township should develop a Parks and Recreation Master Plan according to the Michigan Department of Natural Resources and Environment's Guidelines, to identify and plan for recreational needs, and to poise the Township for potential improvement grants. Such a plan should include the following goals:
 - ✓ Plan for parks and recreation facilities that meet the unique needs of the community
 - ✓ Provide high quality parks, recreation facilities and open space areas that are well-maintained
 - ✓ Offer a variety of programs and events that improves the high quality of life for residents
 - ✓ Increase the opportunity for enjoyment and appreciation of natural resources
 - ✓ Plan for interconnected and accessible pathway systems with adjoining communities
 - ✓ Utilize Township resources effectively and efficiently to implement planned projects

IMPLEMENTATION

Zoning Changes

Much of the change in the corridor will occur over a long period of time, comprised of many smaller steps along the way. Each site plan, sign, driveway, façade improvement, building construction, etc. will add up to an improved Hill Road Corridor if the vision of this plan is implemented through enhanced and streamlined zoning regulations. Both the zoning text and zoning map must work in unison with the goals of this plan for it to be effective and achieve the desired results.

At present, the corridor is currently comprised of four (4) residential zoning districts, six (6) commercial zoning districts, three (3) manufacturing zoning districts and a planned regional commercial district. More importantly, while some of the zoning district locations make sense, like the Planned Regional Commercial designation for the Gateway Center and C-4 Commercial designation for Meijer, many on the corridor do not. Throughout the Hill Road Corridor there is a haphazard mixture of commercial and industrial zoning designations that fail to create unity and a sense of safe investment for future improvements.

To better arrange the zoning districts and achieve the long-term vision of the Future Land Use Map in this plan, amendments to both the Zoning Map and text will be needed. Recommended changes to both are as follows:

Zoning Text Amendments

- The zoning districts in the ordinance utilize a cumulative or pyramid approach, whereby uses permitted in the less intense zoning district are automatically permitted in the more intense district i.e. uses in the C-1 District are allowed in the C-2 District. Most current ordinances have eliminated this practice because it encourages a mixing of land uses that might not be compatible with one another. The cumulative permitting of land uses in the Zoning Ordinance should be eliminated.
- Some of the permitted uses in the commercial zoning districts do not match the Purpose Section. For example, the C-1 Local Commercial District is “designed to meet the day-to-day convenience shopping and service needs of persons residing in adjacent residential areas.” Yet medical and dental laboratories are Principal Land Uses and hospitals Special Land Uses in that district. Neither one of these uses are intended to meet the day-to-day convenience and shopping needs of the neighboring residential areas. Similar examples can be found in each of the other commercial zoning districts. As a result, the list of uses permitted in each of the commercial zoning districts must be revised to match the Purpose Section of that district.
- The Zoning Board of Appeals is given the authority to approve uses “to be of the same effect and characteristics as any of the specified uses permitted through Special Land Use approval.” The courts have held that a community’s ability to make similar use determinations regarding special uses is quite narrow while the powers given to the ZBA in the Mundy Township Zoning Ordinance are broad. This section of the ordinance should be examined by the Township Attorney to see if any changes are needed.
- The C-5, Highway Commercial District can be consolidated with the C-3, Regional Retail District, since it can accommodate the same uses, with minor amendments.
- The Zoning Ordinance does not have an Office Zoning District that would allow less intense office and related uses separate from the commercial districts. A new Office District should be created that

provides for less intense uses than the C-2 allows but targets offices catering to a broader, even regional, customer base.

- The Hill Road Development Corridor Overlay District (C-3A) is not configured as an overlay district, although it is called one. The entire Hill Road Corridor should be designated as an overlay district to encourage and maintain high development and design standards. The C-3A District text will have to be re-written to make it a true overlay district and allow the underlying zoning to regulate the permitted land uses.
- Given the nature of current industrial land uses, one of the Industrial Zoning Districts can be eliminated and the total number reduced to two, possibly Light and Heavy Industrial Zoning Districts.

Zoning Map Amendments

- The Zoning Map should be amended so that the zoning designations more closely match those on the Proposed Future Land Use Map in this plan. This will likely mean that the Nonconforming Section of the Zoning Ordinance will have to be reviewed to ensure that hardships are not created.
- The Zoning Map should depict the current C-3A District as an overlay, probably with a hash line.

Corridor Design Guidelines

Standards for construction within the district were created to ensure the corridor is developed in a manner consistent with the established vision. The following site design standards are a set of principles aimed at achieving certain development patterns or characteristics along the Hill Road Corridor. They are provided here as a set of guiding principles for development, but may be incorporated into the Zoning Ordinance or other general code as a requirement. New commercial development sites should possess the following qualities:

Streetscape & Site Design

- Streetscape treatment should be used to signify an entrance and contribute to a sense of place.
- Community amenities such as patio/seating areas, water features, art work or sculpture, clock towers, pedestrian plazas with park benches or other features located adjacent to the primary entrance to the building(s) are highly encouraged and may be calculated as part of the landscaping requirement.
- Include amenities for bicyclists and pedestrians, including wider sidewalks, bike storage facilities, lighting and landscaping in the standards for site plan review.

Parking and Access

- Off-street parking should typically be located in the side and rear yards with an additional entrance oriented to the parking lot.
- Parking lots adjacent to the roadway should provide a setback and landscape greenbelt. A knee-wall or hedge may also be appropriate.
- Driveways should be designed and located according to the Access Management Standards in the Appendix.
- Parking lot landscaping is especially important in minimizing large parking lots. Parking lot islands that incorporate pedestrian access to storefronts may be appropriate for larger lots or high traffic sites.

- Internal pedestrian walkways should be included for persons who need access to the building(s) from internal parking areas. Walkways shall be designed to separate people from moving vehicles as much as possible, vehicle drive aisles or parking spaces may not be used for this purpose.
- Crosswalks should be distinguished from the parking and driving areas by use of any of the following materials: special pavers, bricks, raised elevation or scored concrete.

Landscaping, Buffers & Screening

- Development abutting residential should be screened with a mixture of treatment such as landscaping, walls, and fences.
- Loading and unloading areas should be located where they can be effectively screened from view and where they will create the least impact on residential neighbors. Where necessary, limited hours for trash pick up may be considered to further protect neighbors.
- Where required, detention areas should be designed to mimic natural environments, and steep basins requiring safety fencing should be discouraged.

Lighting

- Site lighting should be regulated so it does not spill into non-commercial areas or the public road, except where needed to illuminate driveways. Generally, levels between 0.5 and 1.0 footcandles at the property line are appropriate.

Signs

- Lower-level ground signs are preferred over taller pole signs.
- Signs should include a durable base constructed of materials compatible with the architecture of the building.
- Sign locations should respect clear-vision areas and traffic safety.

Building Design

- Long or expansive building walls should include variations in the building wall, varied rooflines, archways or other architectural features.
- The rhythm of openings (the number and spacing of windows and doors) should be balanced on the facade and not disrupted.
- Rear elevations visible from roadways (both public and internal drives) and/or residential areas should have a finished quality consistent with the front elevation of the building.
- Recessed or projected vestibules with suitable overhead weather protection should be utilized.
- Durable building materials which provide an attractive, quality appearance should be chosen. Earth-toned brick, masonry block or other building materials typical in the area. "Dryvit" surfacing should be used as an accent material only.
- Building colors should consider and blend with local surroundings. Bright, offensive colors should be avoided, especially as the primary color of the building.
- Walls near building entrances should include windows, canopies and awnings to attract customers and contribute to a sense of place.
- Rooftop equipment should be completely screened to protect views from the roadway and adjacent uses.
- Exterior gutters and downspouts should be avoided on non-pitched roof buildings.

Marketing Brochure-Township Property

(Once the draft development plan is accepted, a marketing brochure for the Township-owned property will be prepared using images and text in the Development Plan.)

PROJECT LIST

PROJECT <i>See Detailed Descriptions Below</i>	ESTIMATED COST
Develop a Corridor Marketing Effort and Prepare Promotional Materials	\$125,000
CIA Property Acquisition	\$500,000
CIA Road Improvements	\$3,700,000
US-23 Hill Road Interchange Improvements & Maintenance	\$1,250,000
Streetscape Improvements and Signage	\$2,500,000
Entryway Improvements	\$1,500,000
Non-Motorized Paths	\$850,000
Total Cost of All Projects:	\$8,925,000

1. **Develop a Corridor Marketing Effort and Prepare Promotional Materials** **\$125,000**

It is the Township's desire to create a unified image and market the Hill Road Corridor as a unified business district. To that end, the following research and organizational projects are needed.

- *Retail Market Study.* A retail market study is needed to determine the extent of commercial space supportable within the CIA District and potential recruiting opportunities. The study would entail performing a market analysis to determine the market size, providing additional detail regarding site information, identifying commercial and retail opportunities and the development of a marketing strategy and tenant mix.
- *Joint Marketing Program.* A joint marketing strategy will be developed with involvement of the business community that brings together resources for advertising, special events and public relations; similar to the programs employed by retail malls. The goal is to develop a program that will be self-sustaining through creation of a business organization, or support for an existing one, that will coordinate and oversee the marketing efforts.
- *Hill Road Corridor Branding.* To effectively market the corridor, a branding effort must be undertaken that creates a clear, positive image to potential shoppers, visitors, investors, etc. This image must then be promoted over multiple media platforms in a comprehensive, consistent manner to educate and inform the public.
- *Promotional Materials.* The preparation of marketing materials that can be presented to developers, retailers and real estate firms promoting the Hill Road Corridor. This may include brochures, exhibits, trade area data, web site materials, social media activities, etc.

- 2. CIA Property Acquisition** **\$500,000**
 Property acquisition will be a necessary part of the development projects contained herein including, but not limited to, site redevelopment, road improvements, storm water facilities, and entryway enhancements. The goal is to use public monies to leverage private investment and eventually eliminate the need for financial assistance.
- 3. CIA Road Improvements** **\$3,700,000**
 The following road improvements are needed to ensure proper access into and along the Hill Road Corridor:
- *Hill Road Improvements (boulevard, crosswalks, and signalization for Corridor).* Road, signalization and pedestrian crosswalk improvements are needed along Hill Road.
 - *Construct Boulevard Sections.* This includes the construction of boulevard sections on Hill Road at the east and west ends of the corridor.
- 4. US-23 Hill Road Interchange Improvements & Maintenance** **\$1,250,000**
 To effectively change the image of the Hill Road Corridor and encourage visitors to exit here, the aesthetic appearance of the interchange must be improved. This would come in the form of landscaping, irrigation, lighting and signage improvements along with a commitment for future maintenance. This interchange is controlled by the State of Michigan, including the use of federal funds, so coordination with both governments is needed. Funding cutbacks at the state and federal levels has limited improvements and maintenance at all highway interchanges. The use of CIA funding to improve this interchange will greatly enhance the image of the corridor and support the other activities identified under this plan.
- 5. Streetscape Improvements and Signage** **\$2,500,000**
 Coordinated streetscape improvements will be needed throughout the corridor to achieve the desired traditional look for the project. This will include items such as brick pavers, street trees, lights, benches, waste receptacles, etc. Entryway signs will help draw people into the downtown while banners and location direction signs will create interest and help direct people to specific locations, including parking areas.
- 6. Entryway Improvements** **\$1,500,000**
 It is essential that travelers along Hill Road know that they have arrived in Mundy Township and the Corridor District. This can be accomplished visually through attractive entryways with landscaping, signage, lighting and architectural features like brick knee walls. A similar treatment has already been installed by Grand Bland Township at the Fenton Road-Hill Road intersection and would be emulated by Mundy Township at both ends of the corridor.
- 7. Non-Motorized Paths** **\$850,000**
 It is a priority of the corridor plan to make the Hill Road Corridor a more user-friendly place for pedestrians and bicyclists. This will be accomplished through creation of a path and sidewalk system that provides safe refuge for non-motorists while traveling along the corridor and between buildings. The first step will be the creation of a detailed pathway plan that identifies the most appropriate treatment for each section of the corridor. This pathway plan will include more precise cost estimates so the Township can seek grants and alternate ways to assist property owners.

TOTAL COST OF ALL PROJECTS: **\$8,925,000**

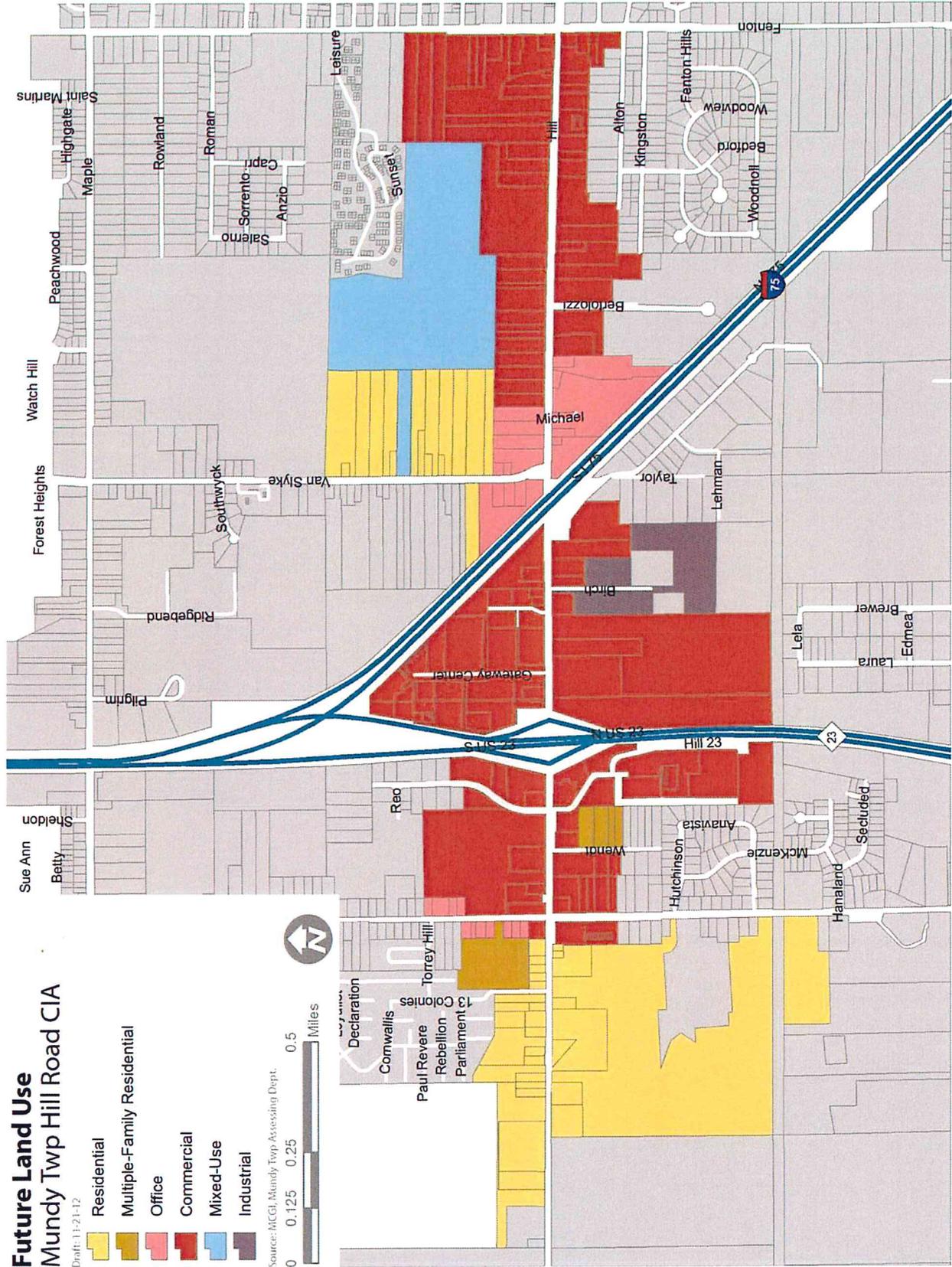
Development and TIF Plan

Future Land Use Mundy Twp Hill Road CIA

Draft 11-2-12

- Residential
- Multiple-Family Residential
- Office
- Commercial
- Mixed-Use
- Industrial

Source: MCGI, Mundy Twp Assessing Dept.

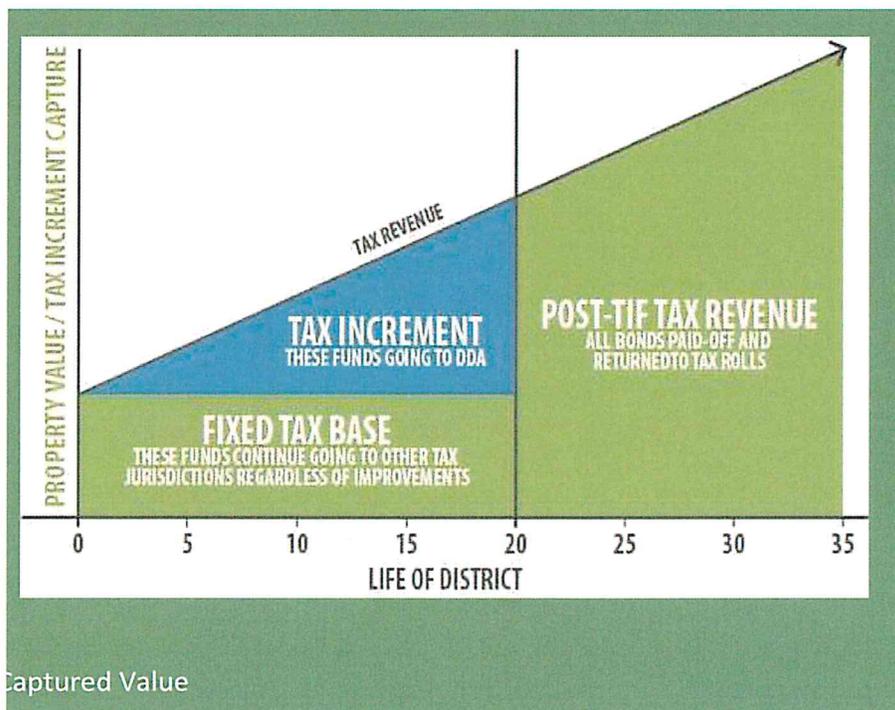


TAX INCREMENT FINANCING PLAN

EXPLANATION OF THE TAX INCREMENT PROCEDURE

Tax Increment Financing (TIF financing) is a method of funding public investments in an area slated for (re)development by capturing, for a time, all or a portion of the increased tax revenue that may result from increases in property values, either as a result of (re)development or general market inflation. The concept of Tax Increment Financing is applied only to the development area for which a development plan has been prepared by the Authority and adopted by the community's legislative body.

As provided in PA 197 of 1975, as amended, Tax Increment Financing is an effective tool for financing redevelopment and planning of designated development areas within a Corridor Improvement Authority District. TIF financing can be used to fund public utility and infrastructure improvements, market businesses within the district, plan for property within the district, acquire land, improve sites, construct buildings, and administer the Development Plan. Because TIF financing involves capture of tax revenue for certain parcels, TIF dollars must be used for improvements that will generally benefit those same parcels.



“Captured Taxable Value” can be described as the difference in amount in any year of the plan in which the current taxable value exceeds the initial taxable value. “Current Taxable Value” is the amount of value upon which taxes are based for the current year. “Initial Taxable Value” represents the Taxable value of properties at the time the CIA was amended, in this case 2018. Tax exempt properties are represented as a zero value in the plan, since no tax increments will be collected for that site, regardless of increases in actual property value. The difference between the initial taxable value (base year total) and the current taxable value (current year total) is the value of property for which taxes can be

captured and (re)invested by the CIA.

The initial taxable value (“TV”) for this plan is the taxable value of all real and personal property in the development area as determined on December 31, 2017 and finally equalized by the state in May, 2018. This is commonly considered the TV for 2018. The base value of real property in the district is \$58,401,680. As a result of changes to commercial tax laws, the Michigan Personal Property Tax was eliminated in 2013 and therefore is not considered in this plan.

The purpose of the Tax Increment Financing Plan is to ensure that revenues from tax increment capture will be sufficient to cover anticipated costs, especially when it comes to bond debt. Therefore, some assumptions are involved in order to project property values into the future to determine anticipated revenues. At the time this plan was prepared, Michigan was in the middle of an economic downturn, making such projections even more difficult. However, it is anticipated that the economy will rebound within the next few years, so the following assumptions provide the basis for the figures in Table 1.

1. A modest increase in property values was assumed. A conservative growth rate of 2.5% was used in the projections for future TIF revenue.
2. Minimal development is expected. To provide conservative estimates, the TIF revenues are based on increases in property values based on the market, not improvements to property.

ESTIMATE OF TAX CAPTURE					
	FISCAL		%Value	Value	Capture
	YEAR	Base Value	Increase	Increase	Amount
Base Year:	2018	\$ 58,401,680		\$ 59,668,390	\$ 1,266,710
	2019	\$ 58,401,680	2.5%	\$ 61,160,100	\$ 2,758,420
	2020	\$ 58,401,680	2.5%	\$ 62,689,102	\$ 4,287,422
	2021	\$ 58,401,680	2.5%	\$ 64,256,330	\$ 5,854,650
	2022	\$ 58,401,680	2.5%	\$ 65,862,738	\$ 7,461,058
	2023	\$ 58,401,680	2.5%	\$ 67,509,306	\$ 9,107,626
	2024	\$ 58,401,680	2.5%	\$ 69,197,039	\$ 10,795,359
	2025	\$ 58,401,680	2.5%	\$ 70,926,965	\$ 12,525,285
	2026	\$ 58,401,680	2.5%	\$ 72,700,139	\$ 14,298,459
	2027	\$ 58,401,680	2.5%	\$ 74,517,643	\$ 16,115,963
	2028	\$ 58,401,680	2.5%	\$ 76,380,584	\$ 17,978,904
	2029	\$ 58,401,680	2.5%	\$ 78,290,098	\$ 19,888,418
	2030	\$ 58,401,680	2.5%	\$ 80,247,351	\$ 21,845,671
	2031	\$ 58,401,680	2.5%	\$ 82,253,535	\$ 23,851,855
	2032	\$ 58,401,680	2.5%	\$ 84,309,873	\$ 25,908,193
	2033	\$ 58,401,680	2.5%	\$ 86,417,620	\$ 28,015,940
	2034	\$ 58,401,680	2.5%	\$ 88,578,060	\$ 30,176,380
	2035	\$ 58,401,680	2.5%	\$ 90,792,512	\$ 32,390,832
	2036	\$ 58,401,680	2.5%	\$ 93,062,325	\$ 34,660,645
	2037	\$ 58,401,680	2.5%	\$ 95,388,883	\$ 36,987,203
	2038	\$ 58,401,680	2.5%	\$ 97,773,605	\$ 39,371,925

Notes:

1. This table assumes capture based on inflation only - no new development or increase in value due to improvements. New development would increase capture.
2. 2018 - 2038 assumes a property value growth rate of 2.5%/year.
3. Capture amounts include real property values only.

Beginning with the 2019 tax collection, and for each year within the term of the plan, municipal and county treasurers transmit directly to the CIA, the applicable portion of the tax levy set by the taxing units on the real property in the development area, including that portion of any commercial facilities tax levied pursuant to P.A. 255 of 1978 and that portion on any industrial facilities tax levied pursuant to PA 198 of 1974. Voted and separately identified debt millage revenues do not come to the CIA, but go directly to the intended taxing units.

“Tax increment revenues” means the amount of ad valorem property taxes and specific local taxes attributable to the application of the levy of all taxing jurisdictions upon the captured taxable value of real property in the Development Area. Tax increment revenues do not include any of the following:

- a. Taxes under the state education tax act, 1993 PA 331, MCL 211.901 to 211.906.
- b. Taxes levied by local or intermediate school districts.
- c. Ad valorem property taxes attributable either to a portion of the captured assessed value shared with taxing jurisdictions within the jurisdictional area of the authority or to a portion of value of property that may be excluded from captured assessed value or specific local taxes attributable to the ad valorem property taxes.
- d. Ad valorem property taxes excluded by the Tax Increment Financing Plan of the authority from the determination of the amount of tax increment revenues to be transmitted to the authority or specific local taxes attributable to the ad valorem property taxes.
- e. Ad valorem property taxes exempted from capture under section 18(5) or specific local taxes attributable to the ad valorem property taxes.
- f. Ad valorem property taxes specifically levied for the payment of principal and interest of obligations approved by the electors or obligations pledging the unlimited taxing power of the local governmental unit or specific taxes attributable to those ad valorem property taxes.

To utilize Tax Increment Financing, the CIA must prepare a Development Plan and a Tax Increment Financing Plan. Both plans are submitted to the Township Board, who must approve the plans. These plans may be amended in the future to reflect changes desired by the CIA or the Township. All amendments must follow the procedures of the act.

MAXIMUM AMOUNT OF BONDED INDEBTEDNESS TO BE INCURRED

The Corridor Improvement Authority may explore the possibility of bonding against future revenues to supply the funds required to accomplish larger public improvement projects. The extent of the indebtedness and the timing of the debt retirement will be determined by the extent of the tax increment revenues. The maximum indebtedness, as stated in PA 197 of 1975, cannot exceed the ability to service the debt from tax increments. Only 80% of projected revenues are available as debt service funds. The CIA was just established, so no bond debt has been accrued to date. Future plan updates will consider outstanding debt as it plans for continued investment in the district.

DURATION OF THE DEVELOPMENT PROGRAM

The duration of the Tax Increment Financing Plan is twenty (20) years, commencing upon approval by the Township Board in 2018 and will cease with tax collections due in December 2038, unless this plan is amended to extend or shorten its duration.

STATEMENT OF THE ESTIMATED IMPACT OF TAX INCREMENT FINANCING ON TAXING JURISDICTIONS IN WHICH THE DEVELOPMENT AREA IS LOCATED

The CIA is eligible to capture tax increment revenues from the State, local school district, and intermediate school district to the extent necessary to pay the debt service on the outstanding bonds that represent “eligible obligations.”

The most important impact on the affected taxing jurisdictions is that the amount of revenue they currently receive from property within the district will not increase during the life of the plan. Once the base value of the district is set, the CIA will capture the revenue from any increase in property value. The base amount would still flow to the appropriate taxing jurisdictions. In other words, the revenue to each taxing jurisdiction would effectively be frozen at the base value for the entire term of the CIA Plan.

The impact of Tax Increment Financing on the revenues of all taxing properties is illustrated in Table 2 on the following page.

Table 2
 ESTIMATED TAX INCREMENT CAPTURE BY TAXING JURISDICTION

Millage Rates		5.5072	4.5659	0.4847	0.4847	0.7000	1.000	0.1000	0.2000	0.0400	0.4847	0.998	1.2
Fiscal Year	Capture Amount	Genesee County	Township Voted Operating	Paramedics	Parks	Senior Citizens	Health Services	Veterans	Animal Control	MSU	Airport	Library	MTA
2018	\$ 1,266,710	\$ 6,976	\$ 5,784	\$ 614	\$ 614	\$ 887	\$ 1,267	\$ 127	\$ 253	\$ 51	\$ 614	\$ 1,264	\$ 1,555
2019	\$ 2,758,420	\$ 15,191	\$ 12,595	\$ 1,337	\$ 1,337	\$ 1,931	\$ 2,758	\$ 276	\$ 552	\$ 110	\$ 1,337	\$ 2,753	\$ 3,371
2020	\$ 4,287,422	\$ 23,612	\$ 19,576	\$ 2,078	\$ 2,078	\$ 3,001	\$ 4,287	\$ 429	\$ 857	\$ 171	\$ 2,078	\$ 4,279	\$ 5,251
2021	\$ 5,854,650	\$ 32,243	\$ 26,732	\$ 2,838	\$ 2,838	\$ 4,098	\$ 5,855	\$ 585	\$ 1,171	\$ 234	\$ 2,838	\$ 5,843	\$ 7,171
2022	\$ 7,461,058	\$ 41,090	\$ 34,066	\$ 3,616	\$ 3,616	\$ 5,223	\$ 7,461	\$ 746	\$ 1,492	\$ 298	\$ 3,616	\$ 7,446	\$ 9,141
2023	\$ 9,107,626	\$ 50,158	\$ 41,585	\$ 4,414	\$ 4,414	\$ 6,375	\$ 9,108	\$ 911	\$ 1,822	\$ 364	\$ 4,414	\$ 9,089	\$ 11,151
2024	\$ 10,795,359	\$ 59,452	\$ 49,291	\$ 5,233	\$ 5,233	\$ 7,557	\$ 10,795	\$ 1,080	\$ 2,159	\$ 432	\$ 5,233	\$ 10,774	\$ 13,221
2025	\$ 12,525,285	\$ 68,979	\$ 57,189	\$ 6,071	\$ 6,071	\$ 8,768	\$ 12,525	\$ 1,253	\$ 2,505	\$ 501	\$ 6,071	\$ 12,500	\$ 15,341
2026	\$ 14,298,459	\$ 78,744	\$ 65,285	\$ 6,930	\$ 6,930	\$ 10,009	\$ 14,298	\$ 1,430	\$ 2,860	\$ 572	\$ 6,930	\$ 14,270	\$ 17,511
2027	\$ 16,115,963	\$ 88,754	\$ 73,584	\$ 7,811	\$ 7,811	\$ 11,281	\$ 16,116	\$ 1,612	\$ 3,223	\$ 645	\$ 7,811	\$ 16,084	\$ 19,741
2028	\$ 17,978,904	\$ 99,013	\$ 82,090	\$ 8,714	\$ 8,714	\$ 12,585	\$ 17,979	\$ 1,798	\$ 3,596	\$ 719	\$ 8,714	\$ 17,943	\$ 22,021
2029	\$ 19,888,418	\$ 109,529	\$ 90,809	\$ 9,640	\$ 9,640	\$ 13,922	\$ 19,888	\$ 1,989	\$ 3,978	\$ 796	\$ 9,640	\$ 19,849	\$ 24,361
2030	\$ 21,845,671	\$ 120,308	\$ 99,745	\$ 10,589	\$ 10,589	\$ 15,292	\$ 21,846	\$ 2,185	\$ 4,369	\$ 874	\$ 10,589	\$ 21,802	\$ 26,761
2031	\$ 23,851,855	\$ 131,357	\$ 108,905	\$ 11,561	\$ 11,561	\$ 16,696	\$ 23,852	\$ 2,385	\$ 4,770	\$ 954	\$ 11,561	\$ 23,804	\$ 29,211
2032	\$ 25,908,193	\$ 142,682	\$ 118,294	\$ 12,558	\$ 12,558	\$ 18,136	\$ 25,908	\$ 2,591	\$ 5,182	\$ 1,036	\$ 12,558	\$ 25,856	\$ 31,731
2033	\$ 28,015,940	\$ 154,289	\$ 127,918	\$ 13,579	\$ 13,579	\$ 19,611	\$ 28,016	\$ 2,802	\$ 5,603	\$ 1,121	\$ 13,579	\$ 27,960	\$ 34,321
2034	\$ 30,176,380	\$ 166,187	\$ 137,782	\$ 14,626	\$ 14,626	\$ 21,123	\$ 30,176	\$ 3,018	\$ 6,035	\$ 1,207	\$ 14,626	\$ 30,116	\$ 36,961
2035	\$ 32,390,832	\$ 178,383	\$ 147,893	\$ 15,700	\$ 15,700	\$ 22,674	\$ 32,391	\$ 3,239	\$ 6,478	\$ 1,296	\$ 15,700	\$ 32,326	\$ 39,671
2036	\$ 34,660,645	\$ 190,883	\$ 158,257	\$ 16,800	\$ 16,800	\$ 24,262	\$ 34,661	\$ 3,466	\$ 6,932	\$ 1,386	\$ 16,800	\$ 34,591	\$ 42,451
2037	\$ 36,987,206	\$ 203,696	\$ 168,880	\$ 17,928	\$ 17,928	\$ 25,891	\$ 36,987	\$ 3,699	\$ 7,397	\$ 1,479	\$ 17,928	\$ 36,913	\$ 45,301
2038	\$ 39,371,925	\$ 216,829	\$ 179,768	\$ 19,084	\$ 19,084	\$ 27,560	\$ 39,372	\$ 3,937	\$ 7,874	\$ 1,575	\$ 19,084	\$ 39,293	\$ 48,231
Total		\$ 2,178,356	\$ 1,806,028	\$ 191,722	\$ 191,722	\$ 276,883	\$ 395,547	\$ 39,555	\$ 79,109	\$ 15,822	\$ 191,722	\$ 394,756	\$ 484,541

PLAN FOR THE EXPENDITURE OF CAPTURED ASSESSED VALUE BY THE AUTHORITY

1. **Estimate of Tax Increment Revenues.** Table 3 summarizes only the estimated tax increment revenue by year. The basis for these figures is shown in Table 1.
2. **Expenditure of Tax Increment Revenues.** Any additional tax increment revenues beyond those projected in this plan will:
 - a. be used to expedite any debt service,
 - b. further the implementation of the public improvement program, or
 - c. be returned, pro-rata, to the taxing units.

Should the tax increment revenues be less than projected, the CIA may choose to:

- a. Collect and hold the captured revenues until a sufficient amount is available to implement specific public improvements,
- b. Consider implementing public improvement projects based upon the ability to match existing funds with expenditures while seeking out additional funding sources,
- c. Amend the development plan and/or tax increment financing plan to allow for alternative projects and funding.

TABLE 3	
ESTIMATE OF TAX INCREMENT REVENUES	
Fiscal Year	Tax Increment Revenue
2018	\$ 1,266,710
2019	\$ 2,758,420
2020	\$ 4,287,422
2021	\$ 5,854,650
2022	\$ 7,461,058
2023	\$ 9,107,626
2024	\$ 10,795,359
2025	\$ 12,525,285
2026	\$ 14,298,459
2027	\$ 16,115,963
2028	\$ 17,978,904
2029	\$ 19,888,418
2030	\$ 21,845,671
2031	\$ 23,851,855
2032	\$ 25,908,193
2033	\$ 28,015,940
2034	\$ 30,176,380
2035	\$ 32,390,832
2036	\$ 34,660,645
2037	\$ 36,987,203
2038	\$ 39,371,925

APPENDIX A: DEVELOPMENT AREA BOUNDARY

The Hill Road Corridor Improvement Authority District Boundary is shown on the map below, and legal descriptions of each parcel is included in Appendix B:

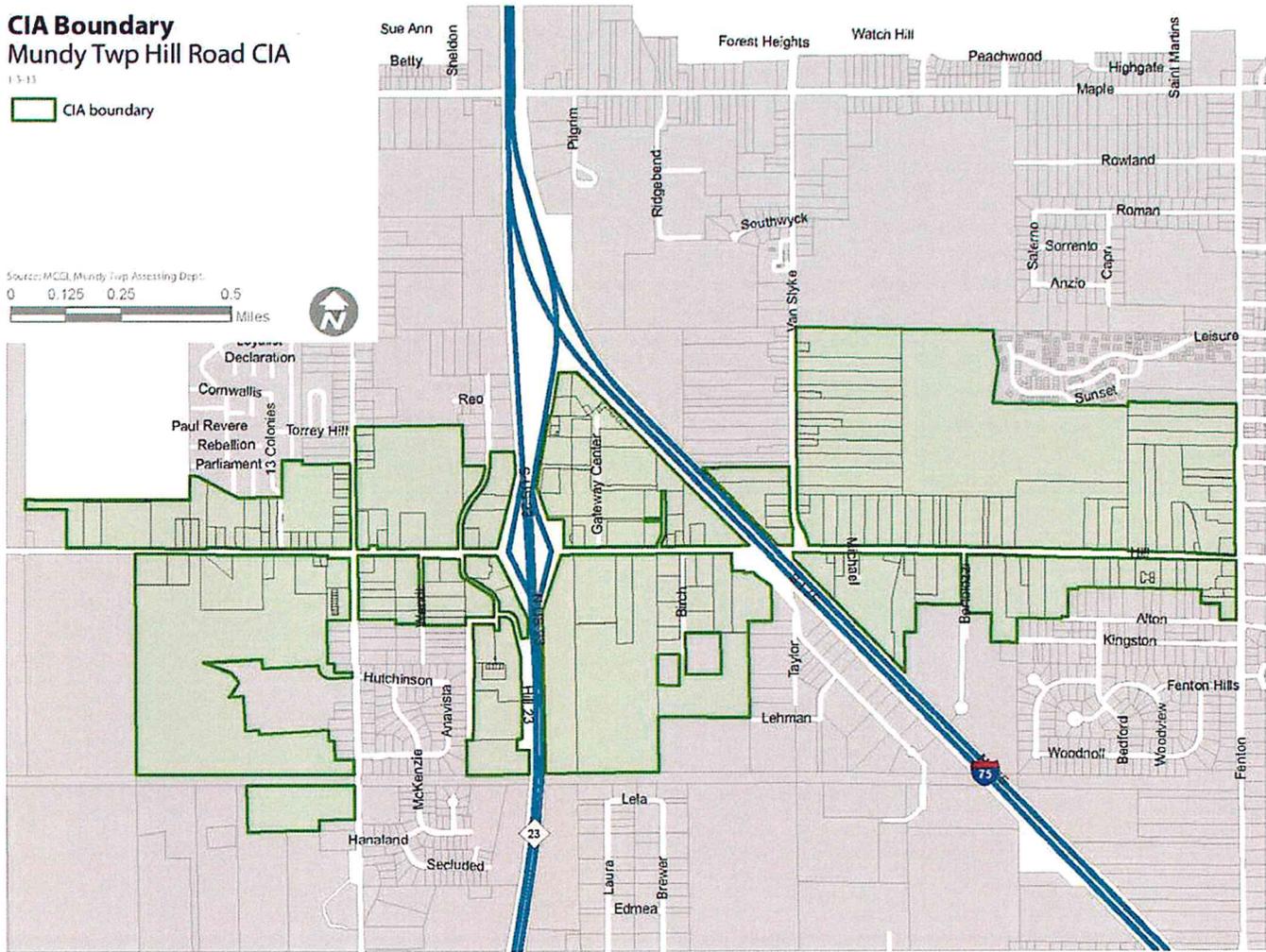
CIA Boundary Mundy Twp Hill Road CIA

1.3-13

 CIA boundary

Source: MCGI, Mundy Twp Assessing Dept.

0 0.125 0.25 0.5
Miles



APPENDIX B: BASE PARCEL DATA

The following pages include the base information and legal descriptions for all real property parcels located in the CIA Development Area. Information reported for the 2018 Fiscal Year are based upon the taxable value recorded on December 31, 2017 as modified by the Township Board of Review and are subject to any judgments issued by the State Tax Tribunal. The final 2018 TV, as adjusted by these bodies, is adopted by reference and is the Initial Taxable Valuation and may be revised without amendment of these plans.

TABLE 4
BASE DATA FOR ALL PARCELS IN THE CIA DISTRICT

Parcel ID	Owner Name	Property Address	Base Value
25-15-01-400-004	FENTON ROAD REAL ESTATE LLC	5378 FENTON RD S 10 RDS OF N 60 RDS OF NE 1/4 OF SE 1/4 SEC 01 T6N R6E	0
25-15-01-400-005	FENTON ROAD LLC	5404 FENTON RD NE 1/4 OF SE 1/4 EXCEPT N 60 RDS ALSO EXCEPT S 10 RDS SEC 01 T6N R6E	\$52,544
25-15-01-400-006	NIMROD CORPORATION	5416 FENTON RD S 10 RDS OF NE 1/4 OF SE 1/4 SEC 01 T6N R6E	\$74,879
25-15-01-400-009	MC INTYRE, RICHARD J	1050 HILL RD A PARCEL OF LAND BEG 120 FT E OF SW COR OF E 1/2 OF SE 1/4 OF SE 1/4 TH N 150 FT TH E 53 FT TH SLY 151.90 FT TH W 75.50 FT TO PLACE OF BEG SEC 1 T6N R6E	\$45,241
25-15-01-400-017	KOLMAK GROUP LLC	1090 HILL RD PARCEL OF LAND BEG N 89 DEG 39 MIN W 836.91 FT FROM SE COR OF SEC TH N 89 DEG 39 MIN W 172 FT TH N 01 DEG 20 MN 58 SEC W 370.02 FT TH N 88 DEG 39 MIN 02 SEC E 201.85 FT TH ON A CURVE TO THE LEFT CHORD = S 08 DEG 13 MIN 44 SEC W 137.08 FT TH S 0 DEG 21 MIN W 240.06 FT TO PL OF BEG SEC 1 T6N R6E	\$215,406
25-15-01-400-012	FAITH UNITED BAPTIST CHURCH	1100 HILL RD E 125 FT OF W 1/4 OF SE 1/4 OF SE 1/4 SEC 1 T6N R6E	\$0
25-15-01-400-013	FAITH UNITED BAPTIST CHURCH	1116 HILL RD W 1/4 OF SE 1/4 OF SE 1/4 EXCEPT E 125 FT SEC 1 T6N R6E	\$0
25-15-01-400-016	MUNDY TOWNSHIP	FENTON RD A POL BEG S 89 DEG 59 MIN W 280 FT FROM INT 1/4 COR OF SEC TH S 5 DEG 30 MIN E 200 FT TH S 16 DEG E 200 FT TH S 8 DEG W 400 FT TH S 1 DEG W 86.55 FT TH S 89 DEG 37 MIN 30 SEC E 1623.89 FT TH S 0 DEG 41 MIN 30 SEC E 453.47 FT TH S 1 DEG 16 MIN E 457.44 FT TH N 89 DEG 10 MIN 41 SEC W 1330.21 FT TH S 0 DEG 01 MIN 39 SEC W 200.12 FT TH S 89 DEG 38 MIN 48 SEC W 1363.73 FT TH N 1 DEG 28 MIN 42 SEC W 1997.24 FT TH N 89 DEG 59 MIN E 1081.51 FT TO POB SEC 1 T6N R6E	\$0
25-15-01-551-001	KHOURI, EDWARD	1138 HILL RD LOT 1 EXCEPT N 100 FT HAPPY HOME ACRES	\$55,124
25-15-01-551-002	KHOURI, ANTON	1160 HILL RD N 100 FT OF LOT 1 & LOT 2 HAPPY HOME ACRES	\$103,643
25-15-01-551-003	HILLSIDE PLAZA MALL, LLC	1174 HILL RD LOT 3 HAPPY HOME ACRES	\$139,064
25-15-01-551-010	ASSENMACHER, F	1272 HILL RD LOT 9 HAPPY HOME ACRES	\$153,718
25-15-01-551-011	MUNDY TOWNSHIP	1286 HILL RD LOT 10 HAPPY HOME ACRES	\$0
25-15-01-551-012	MUNDY TOWNSHIP	HILL RD E 60 FT OF LOT 11 HAPPY HOME ACRES	\$0
25-15-01-551-013	ISAAC, IMAD	1320 HILL RD	\$227,318

W 105 FT OF LOT 11 AND LOT 12 HAPPY HOME ACRES

Parcel ID	Owner Name	Property Address	Base Value
25-15-01-551-014	HEATON, DR J LOT 13 HAPPY HOME ACRES	1340 HILL RD	\$151,148
25-15-01-551-015	BAIMOR II LLC E 1/2 OF LOT 14 HAPPY HOME ACRES	1356 HILL RD	\$294,584
25-15-01-551-016	BAIMOR II LLC W 1/2 OF LOT 14 HAPPY HOME ACRES	1362 HILL RD	\$36,900
25-15-01-551-017	OSMUN, CHARLES LOT 15 HAPPY HOME ACRES	1372 HILL RD	\$171,095
25-15-01-551-020	MARPADON LLC LOT 17 HAPPY HOME ACRES	1408 HILL RD	\$463,314
25-15-01-551-021	1436 W HILL RD LLC LOT 18 HAPPY HOME ACRES	1436 HILL RD	\$229,702
25-15-01-551-022	JEDOSHAR LLC LOT 19 HAPPY HOME ACRES	1442 HILL RD	\$454,050
25-15-01-551-023	JEDOSHAR LLC LOT 20 HAPPY HOME ACRES	1448 HILL RD	\$81,228
25-15-01-551-024	MANGAPORA, MICHAEL J & EVIE L LOT 21 HAPPY HOME ACRES	1474 HILL RD	\$103,523
25-15-01-551-025	NMS 2006 LLC LOT 22 HAPPY HOME ACRES	1484 HILL RD	\$142,819
25-15-01-551-026	SHM 97 LLC LOT 23 & ALL THAT PART OF S 385 FT OF LOT 24 LYING NELY OF A LINE DESCRIBED AS BEG N 0 DEG 38 MIN 57 SEC W 634.59 FT FROM SE COR OF SEC 2 T6N R6E TH S 26 DEG 44 MIN 22 SEC E 600 FT & POINT OF ENDING HAPPY HOME ACRES	1498 HILL RD	\$30,600
25-15-01-551-027	BURGESS, HOWARD S, HOWARD R, N 130 FT OF LOT 24 HAPPY HOME ACRES	5483 VAN SLYKE RD	\$44,606
25-15-01-551-028	BURGESS, HOWARD S, HOWARD R, S 95 FT OF N 225 FT OF LOT 24 HAPPY HOME ACRES	5501 VAN SLYKE RD	\$9,855
25-15-01-551-031	HALE, HAWLEY A LOT 49 HAPPY HOME ACRES	5313 VAN SLYKE RD	\$31,861
25-15-01-551-032	CURRY, SAMUEL & DIANE LOT 50 HAPPY HOME ACRES	5331 VAN SLYKE RD	\$65,500
25-15-01-551-033	WINIARSKI, NOREEN LOT 51 EXCEPT S 80 FT OF W 300 FT HAPPY HOME ACRES	5347 VAN SLYKE RD	\$39,904
25-15-01-551-034	WILBUR, JAMES S 80 FT OF W 300 FT OF LOT 51 HAPPY HOME ACRES	5363 VAN SLYKE RD	\$27,243
25-15-01-551-035	MUNDY TOWNSHIP LOT 52 HAPPY HOME ACRES	VAN SLYKE RD	\$0
25-15-01-551-036	GILLESPIE, ALBERT & LINDA LOT 53 EXCEPT S 80 FT OF W 544.50 FT HAPPY HOME ACRES	5383 VAN SLYKE RD	\$33,950
25-15-01-551-037	GILLESPIE TRUST, ALBERT W S 80 FT OF W 544.50 FT OF LOT 53 HAPPY HOME ACRES	5393 VAN SLYKE RD	\$36,562
25-15-01-551-038	PALMER, MARIE PART OF LOT 54 BEG AT NW COR OF LOT 54 TH S 0 DEG 57 MIN 46 SEC E 95.13 FT TH S 89 DEG 52 MIN 46 SEC E 257.95 FT TH N 1 DEG 57 MIN 14 SEC E 95.63 FT TH N 89 DEG 58 MIN 46 SEC W 262.81 FT TO PL OF BEG HAPPY HOME ACRES	5401 VAN SLYKE RD	\$32,801

25-15-01-551-039	TAYLOR, CHERY & ROGERS, JOHN	5409 VAN SLYKE RD	\$49,201
LOT 54 EXCEPT A PARCEL OF LAND BEG AT NW COR OF LOT 54 TH S 0 DEG 57 MIN 46 SEC E 95.13 FT TH S 89 DEG 52 MIN 46 SEC E 257.95 FT TH N 1 DEG 57 MIN 14 SEC E 95.63 FT TH N 89 DEG 58 MIN 46 SEC W 262.81 FT TO PL OF BEG HAPPY HOME ACRES			

Parcel ID	Owner Name	Property Address	Base Value
25-15-01-551-040	BROWN, CHARLES W & JUDITH	5423 VAN SLYKE RD LOT 55 EXCEPT N 75 FT OF W 250 FT HAPPY HOME ACRES	\$112,300
25-15-01-551-041	SHARPE, JOHN	5415 VAN SLYKE RD N 75 FT OF W 250 FT OF LOT 55 HAPPY HOME ACRES	\$29,772
25-15-01-551-042	RODRIGUEZ, ROBERTO & NICOLE	5433 VAN SLYKE RD LOT 56 HAPPY HOME ACRES	\$75,265
25-15-01-551-043	MUNDY TOWNSHIP	VAN SLYKE RD LOT 57 & N 55 FT OF LOT 58 HAPPY HOME ACRES	\$18,000
25-15-01-551-044	BURGESS/BURGESS/BURGESS	5471 VAN SLYKE RD S 110 FT OF LOT 58 HAPPY HOME ACRES	\$16,500
25-15-01-551-045	MARPADON LLC	HILL RD LOT 16 HAPPY HOME ACRES	\$81,228
25-15-01-551-046	HD DEVELOPMENT OF MARYLAND	1222 HILL RD LOTS 4 THRU 8 HAPPY HOME ACRES & A POL BEG AT NE COR OF LOT 1 HAPPY HOME ACRES TH N 0 DEG 49 MIN W 200.08 FT TH N 89 DEG 10 MIN 41 SEC W 1330.21 FT TH S 0 DEG 01 MIN 39 SEC W 200.12 FT TO NW COR OF LOT 8 TH S 89 DEG 59 MIN E 7.31 FT TH S 89 DEG 07 MIN 55 SEC E 818.47 FT TH S 89 DEG 15 MIN 09 SEC E 507.38 FT TO POB SEC 1 T6N R6E	\$2,037,107
25-15-01-551-047	BRISTOL METHODIST CHURCH	5285 VAN SLYKE RD LOT 47 & LOT 48 EXCEPT N 100 FT OF W 160 FT HAPPY HOME ACRES	\$0
25-15-01-551-048	BRISTOL METHODIST CHURCH	5297 VAN SLYKE RD N 100 FT OF W 160 FT OF LOT 48 HAPPY HOME ACRES	\$31,024
25-15-01-576-018	SCHWARTZ PROPERTY INVESTMENTS	1056 HILL RD PART OF SE 1/4 OF SE 1/4 OF SEC & PART OF LOT 268 GRAND CENTRAL ESTATES NO 2 DESC AS BEG N 89 DEG 39 MIN W 552.25 FT FROM SE COR OF SEC N 89 DEG 39 MIN W 284.66 FT TH N 0 DEG 21 MIN E 240.06 FT TH ON A CURVE TO THE RIGHT CHORD = N 08 DEG 13 MIN 44 SEC E 137.08 FT TH S 88 DEG 39 MIN 02 SEC W 201.85 FT TH N 01 DEG 20 MIN 58 SEC W 234.63 FT N 86 DEG 41 MIN 31 SEC E 326.96 FT TH S 40 DEG 33 MIN 11 SEC E 176.48 FT TH S 12 DEG 39 MIN 03 SEC E 351.02 FT TH N 89 DEG 39 MIN W 53 FT TH S 02 DEG 14 MIN 30 SEC E 150 FT TO PL OF BEG OWNED & OCCUPIED AS ONE PARCEL SEC 1 T6N R6E	\$192,469
25-15-01-576-009	LIGHTHOUSE BAPTIST CHURCH	5470 FENTON RD LOT 275 GRAND CENTRAL ESTATES NO 2	\$0
25-15-01-576-010	LIGHTHOUSE BAPTIST CHURCH	5458 FENTON RD LOT 276 GRAND CENTRAL ESTATES NO 2	\$0
25-15-01-576-011	NIMROD CORPORATION	FENTON RD LOTS 277 278 & 279 GRAND CENTRAL ESTATES NO 2	\$42,787
25-15-01-576-013	FENTON HILL NORTHWEST, LLC	5540 FENTON RD	\$958,550

LOT 269 GRAND CENTRAL EST NO 2 ALSO LOT 268 EXC THAT PART LYING W OF CO DRAIN ALSO EXC S 75 FT OF E 178 FT ALSO S 150 FT OF E 1/2 OF SE 1/4 OF SE 1/4 OF SEC 1 EXC A POL DESCR AS-BEG AT SW COR OF E 1/2 OF SE 1/4 OF SE 1/4 TH N 150 FT TH E 173 FT TH SLY 151.90 FT TO A POINT WHICH IS 195.5 FT E OF POB TH W 195.5 FT TO POB ALSO EXC A POL BEG N 50.02 FT & N 88 DEG 17 MIN W 60.03 FT FROM SE COR OF SEC TH N 88 DEG 17 MIN W 178.01 FT TH N 100 FT THS 88 DEG 17 MIN E 178.01 FT TH S 100 FT TO POB ALSO LOTS 270 & 271 EXC A POL DESCR AS-BEG AT NE COR OF LOT 271 TH N 89 DEG 39 MIN W 340 FT TH S 0 DEG 21 MIN W 130 FT TH S 89 DEG 39 MIN E 138.96 FT TH S 0 DEG 21 MIN W 34.92 FT TH S 89 DEG 39 MIN E 206 FT TH N 1 DEG 22 MIN 30 SEC W 165 FT TO POB SEC 1 T6N R6E

25-15-01-576-014	SPEEDWAY LLC	5550 FENTON RD	\$299,313
25-15-01-576-015	BURGER KING #10197	5510 FENTON RD	\$429,228

Parcel ID	Owner Name	Property Address	Base Value
25-15-01-576-016	ADOBE AYALA INC	5490 FENTON RD	\$220,971
25-15-01-576-019	NIMROD CORPORATION	5500 FENTON RD	\$98,585
25-15-02-300-002	FLINT HP,LLC	5481 HILL 23 DR	\$233,800
25-15-02-300-003	PIETRAS JR TRUSTEE, DONALD W	2374 HILL RD	\$184,358
25-15-02-300-004	HILL PLAZA LLC	2452 HILL RD	\$836,353
25-15-02-300-005	TEAM TRILLUM LLC	2486 HILL RD	\$77,200
25-15-02-300-006	BLONDIE INVESTMENTS LLC	2520 HILL RD	\$292,300
25-15-02-300-009	MEIJER	5443 TORREY RD	\$20,700
25-15-02-300-010	MEIJER	5433 TORREY RD	\$20,700
25-15-02-300-011	MEIJER	5415 TORREY RD	\$53,486

Development and TIF Plan

25-15-02-300-012	SMITH, SARAH	5405 TORREY RD	\$40,636
	N 100 FT OF S 1513.15 FT OF W 250 FT OF W 1/2 OF SW 1/4 SEC 2 T6N R6E		
25-15-02-300-032	BLESSED LAND LLC	2500 HILL RD	\$258,400
	W 225 FT OF E 1135 FT OF S 500 FT OF W 1/2 OF SW 1/4 EXC S 40 FT ALSO EXC E 125 FT OF S 260 FT & N 20 FT OF S 500 FT OF W 1/2 OF SW 1/4 EXC E 1135 FT SEC 2 T6N R6E		
25-15-02-300-035	M P M GROUP LLC	5454 GATEWAY CTR	\$679,034
	A POL BEG N 89 DEG 10 MIN 14 SEC E 241.12 FT & N 1 DEG 03 MIN 09 SEC W 420 FT & S 89 DEG 10 MIN 14 SEC W 275 FT & N 1 DEG 03 MIN 09 SEC W 278 FT & S 89 DEG 10 MIN 14 SEC W 75.50 FT FROM S 1/4 COR OF SEC TH S 89 DEG 10 MIN 14 SEC W 262.28 FT TH N 6 DEG 09 MIN 14 SEC E 297.20 FT TH N 89 DEG 10 MIN 14 SEC E 225 FT TH S 1 DEG 03 MIN 09 SEC E 295 FT TO POB SEC 2 T6N R6E		
25-15-02-300-038	GREAT LAKES BREWING COMPANY	5304 GATEWAY CTR	\$1,005,570

Parcel ID	Owner Name	Property Address	Base Value
25-15-02-300-042	NINE-PLUS LLC	5406 GATEWAY CTR A POL BEG N 1 DEG 03 MIN 48 SEC W 420 FT FROM S 1/4 COR OF SEC TH S 89 DEG 10 MIN 14 SEC W 301.31 FT TH N 18 DEG 51 MIN 07 SEC W 292.34 FT TH N 89 DEG 10 MIN 14 SEC E 281.36 FT TH N 1 DEG 03 MIN 09 SEC W 295 FT TH N 89 DEG 10 MIN 14 SEC E 109.38 FT TH S 1 DEG 03 MIN 48 SEC E 573 FT TO POB SEC 2 T6N R6E	\$568,443
25-15-02-300-044	GATEWAY PROPERTIES INC	GATEWAY CTR A POL BEG N 1 DEG 03 MIN 09 SEC W 993 FT FROM S 1/4 COR OF SEC TH S 89 DEG 10 MIN 14 SEC W 334.38 FT TH S 6 DEG 09 MIN 14 SEC W 297.20 FT TH S 89 DEG 10 MIN 14 SEC W 19.08 FT TH N 18 DEG 51 MIN 07 SEC W 86.57 FT TH N 7 DEG 17 MIN 11 SEC E 265.33 FT TH N 89 DEG 10 MIN 14 SEC E 378.73 FT TH S 1 DEG 03 MIN 09 SEC E 50 FT TO POB SEC 2 T6N R6E	\$2,498
25-15-02-300-053	MEIJER	2474 HILL RD A PARCEL OF LAND BEG N 0 DEG 0 MIN 39 SEC W 500 FT FROM SW COR OF SEC TH N 0 DEG 0 MIN 39 SEC W 1013.15 FT TH S 89 DEG 37 MIN 39 SEC E 1321.32 FT TH S 0 DEG 03 MIN 29 SEC W 1013.15 FT TH ON A CURVE TO THE LEFT CHORD= S 12 DEG 35 MIN 13 SEC W 276.59 FT TH S 0 DEG 03 MIN 29 SEC W 229.67 FT TH N 89 DEG 37 MIN 39 SEC W 212.42 FT TH N 0 DEG 17 MIN 46 SEC E 439.53 FT TH ON A CURVE TO THE LEFT CHORD= N 44 DEG 30 MIN 06 SEC W 28.18 FT TH N 87 DEG 17 MIN 57 SEC W 75.97 FT TH ON A CURVE TO THE LEFT CHORD= S 45 DEG 25 MIN 27 SEC W 37.44 FT TH S 0 DEG 28 MIN 33 SEC W 326.97 FT TH S 89 DEG 37 MIN 39 SEC E 42.72 FT TH S 0 DEG 28 MIN 33 SEC W 106.51 FT TH N 89 DEG 37 MIN 39 SEC W 106.58 FT TH N 0 DEG 03 MIN 29 SEC E 440 FT TH N 89 DEG 37 MIN 39 SEC W 300 FT TH S 0 DEG 03 MIN 29 SEC W 440 FT TH N 89 DEG 37 MIN 39 SEC W 150 FT TH N 0 DEG 03 MIN 29 SEC E 500 FT TH N 89 DEG 37 MIN 39 SEC W 410.11 FT TO PL OF BEG EXCEPT N 500 FT OF W 250 FT SEC 2 T6N R6E	\$3,741,325
25-15-02-300-051	GATEWAY PROPERTIES INC	GATEWAY CENTRE A PARCEL OF LAND BEG AT S 1/4 COR OF SEC TH S 88 DEG 40 MIN 22 SEC W 100.34 FT TH N 1 DEG 02 MIN 45 SEC W 384.47 FT TH S 89 DEG 14 MIN 10 SEC W 189.10 FT TH N 18 SEC 51 MIN 07 SEC W 38.06 FT TH N 89 DEG 10 MIN 14 SEC E 301.39 FT TH S 01 DEG 03 MIN 09 SEC E 187 FT TH S 41 DEG 05 MIN 50 SEC W 44.70 FT TH S 01 DEG 03 MIN 09 SEC E 63 FT TH S 49 DEG 13 MIN E 40.26 FT TH S 01 DEG 03 MIN 09 SEC E 110 FT TO PL OF BEG SEC 2 T6N R6E	\$24,503
25-15-02-300-052	BARKEY PROPERTIES LLC	2256 HILL RD A PARCEL OF LAND BEG N 01 DEG 03 MIN 09 SEC W 110 FT FROM S 1/4 COR OF SEC TH N 49 DEG 13 MIN W 40.26 FT TH N 01 DEG 03 MIN 09 SEC W 63 FT TH N 41 DEG 05 MIN 50 SEC E 44.70 FT TH S 01 DEG 03 MIN 09 SEC E 123 FT TO PL OF BEG SEC 2 T6N R6E	\$2,600
25-15-02-400-002	NGUYEN, BAY VAN	2136 HILL RD E 100 FT OF S 233 FT OF W 1/2 OF SE 1/4 SEC 02 T6N R6E	\$57,200
25-15-02-400-003	KOSMANOPOULOS, CHRISTOS	2144 HILL RD W 100 FT OF E 200 FT OF S 200 FT OF W 1/2 OF SE 1/4 SEC 02 T6N R6E	\$64,700
25-15-02-400-004	COLFIN THL MEZZ 2 LLC	2202 HILL RD A PARCEL OF LAND BEG N 89 DEG 10 MIN 14 SEC E 413.38 FT FROM S 1/4 COR OF SEC TH N 1 DEG 03 MIN 09 SEC W 360.10 FT TH N 89 DEG 10 MIN 14 SEC E 440 FT TH S 1 DEG 03 MIN 09 SEC E 360 FT TH S 89 DEG 10 MIN 14 SEC W 440 FT TO PLACE OF BEG SEC 2 T6N R6E	\$2,262,082
25-15-02-400-005	BARKEY PROPERTIES LLC	2256 HILL RD W 150 FT OF S 313 FT OF W 1/2 OF SE 1/4 SEC 2 T6N R6E	\$485,318
25-15-02-400-008	W2005 NEW CENTURY HOTEL PORTFOLIO	5353 GATEWAY CTR A POL BEG S 89 DEG 10 MIN 14 SEC W 1311.54 FT & N 0 DEG 52 MIN 55 SEC W 846.43 FT TO SLY ROW LINE OF I-75 & N 44 DEG 53 MIN 09 SEC W 458.38 FT FROM SE COR OF SEC TH S 1 DEG 03 MIN 09 SEC E 390.86 FT TH S 89 DEG 10 MIN 14 SEC W 551.31 FT TH S 1 DEG 03 MIN 09 SEC E 10 FT TH S 89 DEG 10 MIN 14 SEC W 121.69 FT TH N 1 DEG 03 MIN 09 SEC W 460 FT TH N 89 DEG 10 MIN 14 SEC E 616.04 FT TH S 44 DEG 53 MIN 09 SEC 82.30 FT TO POB SEC 2 T6N R6E	\$3,076,946
25-15-02-400-009	NINE-PLUS LLC	5400 GATEWAY CTR	\$2,046,613

Development and TIF Plan

A POL BEG N 89 DEG 10 MIN 14 SEC E 241.12 FT & N 1 DEG 03 MIN 09 SEC W 420 FT FROM S 1/4 COR OF SEC TH S 89 DEG 10 MIN 14 SEC W 241.12 FT TH N 1 DEG 03 MIN 09 SEC W 623 FT TH N 89 DEG 10 MIN 14 SEC E 241.12 FT TH S 1 DEG 03 MIN 09 SEC E 298 FT TH N 89 DEG 10 MIN 14 SEC E 611.68 FT TH S 1 DEG 03 MIN 09 SEC E 384.90 FT TH S 89 DEG 10 MIN 14 SEC W 531.68 FT TH N 1 DEG 03 MIN 09 SEC W 59.9 FT TH S 89 DEG 10 MIN 14 SEC W 80 FT TO POB SEC 2 T6N R6E

Parcel ID	Owner Name	Property Address	Base Value
25-15-02-400-012	W2005 NEW CENTURY HOTEL PORTFOLIO	5205 GATEWAY CTR	\$1,989,192
25-15-02-400-013	BMP GROUP LLC	5361 GATEWAY CTR	\$518,087
	A POL BEG S 89 DEG 10 MIN 14 SEC W 1311.54 FT & N 0 DEG 52 MIN 55 SEC W 734.99 FT FROM SE COR OF SEC TH N 0 DEG 52 MIN 55 SEC W 111.44 FT TH N 44 DEG 53 MIN 09 SEC W 458.38 FT TH S 1 DEG 03 MIN 09 SEC E 440.86 FT TH N 89 DEG 10 MIN 14 SEC E 317.83 FT TO POB SEC 2 T6N R6E		
25-15-02-400-016	JWK PROPERTIES	5300 GATEWAY CTR	\$1,025,648
	A POL BEG N 89 DEG 10 MIN 14 SEC E 231.25 FT & N 1 DEG 03 MIN 09 SEC W 1043 FT FROM S 1/4 COR OF SEC TH S 89 DEG 10 MIN 14 SEC W 248.95 FT TH N 1 DEG 03 MIN 09 SEC W 334 FT TH N 89 DEG 10 MIN 14 SEC E 248.95 FT TH S 1 DEG 03 MIN 09 SEC E 334 FT TO POB SEC 2 T6N R6E		
25-15-02-400-017	GATEWAY PROPERTIES INC	GATEWAY CTR	\$10,667
	A POL BEG N 1 DEG 03 MIN 09 SEC W 313 FT FROM S 1/4 COR OF SEC TH N 1 DEG 03 MIN 09 SEC W 107 FT TH N 89 DEG 10 MIN 14 SEC E 321.12 FT TH S 1 DEG 03 MIN 09 SEC E 34.40 FT TH N 89 DEG 10 MIN 14 SEC E 531.68 FT TH S 1 DEG 03 MIN 09 SEC E 25.50 FT TH S 89 DEG 10 MIN 14 SEC W 440 FT TH S 1 DEG 03 MIN 09 SEC E 360.10 FT TH S 89 DEG 10 MIN 14 SEC W 262.80 FT TH N 1 DEG 03 MIN 09 SEC W 313 FT TH S 89 DEG 10 MIN 14 SEC W 150 FT TO POB SEC 2 T6N R6E		
25-15-02-400-022	GATEWAY FINANCIAL CENTRE LLC	GATEWAY CTR	\$78,100
	A PARCEL OF LAND BEG N 89 DEG 10 MIN 14 SEC E 231.18 FT & N 1 DEG 03 MIN 09 SEC W 1377.12 FT FROM S 1/4 COR OF SEC TH S 89 DEG 09 MIN 04 SEC W 248.95 FT TH N 1 DEG 03 MIN 09 SEC W 250 FT TH N 89 DEG 09 MIN 04 SEC E 180 FT TH N 47 DEG 42 MIN 12 SEC E 40.11 FT TH ON A CURVE TO RIGHT CHORD=S 16 DEG 02 MIN 27 SEC E 150 FT TH S 1 DEG 03 MIN 09 SEC E 131.79 FT TO PL OF BEG SEC 2 T6N R6E		
25-15-02-551-011	TRIUMPH CANCER CENTER PLLC	5467 HILL 23 DR	\$274,536
	LOT 11 EXCEPT A PARCEL OF LAND BEG N 13 DEG 48 MIN 50 SEC E 169.56 FT FROM SELY COR OF LOT 11 TH N 13 DEG 48 MIN 50 SEC E 15.44 FT TH N 89 DEG 56 MIN 31 SEC W 187.03 FT TH S 0 DEG 03 MIN 29 SEC W 15 FT TH S 89 DEG 56 MIN 31 SEC E 183.47 FT TO PL OF BEG FLINT INDUSTRIAL PARK		
25-15-02-551-012	GRAND MARKEE HOLDINGS LLC	5431 HILL 23 DR	\$302,700
	LOTS 8 9 10 & PART OF 11 BEG N 13 DEG 48 MIN 50 SEC E 169.56 FT FROM SELY COR OF LOT 11 TH N 13 DEG 48 MIN 50 SEC E 15.44 FT TH N 89 DEG 56 MIN 31 SEC W 187.03 FT TH S 0 DEG 03 MIN 29 SEC W 15 FT TH S 89 DEG 56 MIN 31 SEC E 183.47 FT TO POB FLINT INDUSTRIAL PARK		
25-15-02-551-013	MUNDY TOWNSHIP	5420 HILL 23 DR	\$0
	LOTS 1 & 2 FLINT INDUSTRIAL PARK		
25-15-02-576-001	MELDRUM ETAL, LOIS E	5504 VAN SLYKE RD	\$27,369
	LOT 26 HAPPY HOME ACRES		
25-15-02-576-002	CHYNOWETH, SCOTT J & JODY L	5500 VAN SLYKE RD	\$52,129
	LOT 27 HAPPY HOME ACRES		
25-15-02-576-003	ALTA VISTA BUILDERS	VAN SLYKE RD	\$20,240
	LOT 28 HAPPY HOME ACRES		
25-15-02-576-006	BURGESS ETAL, HOWARD S	5462 VAN SLYKE RD	\$59,335
	ALL THAT PART OF LOT 25 LYING NELY OF A LINE 125 FT NELY OF & PARALLEL TO A LINE DESCRIBED AS BEG S 88 DEG 36 MIN 33 SEC W 298.51 FT FROM SE COR OF SEC 2 T6N R6E TH N 45 DEG 24 MIN 27 SEC W 1000 FT & POINT OF ENDING EXCEPT S 70 FT & ALL THAT PART OF LOTS 29 30 & 31 LYING NELY OF A LINE 125 FT NELY OF & PARALLEL TO A LINE DESCRIBED AS		

Parcel ID	Owner Name	Property Address	Base Value
		BEG S 88 DEG 36 MIN 33 SEC W 298.51 FT FROM SE COR OF SEC 2 T6N R6E TH N 45 DEG 24 MIN 27 SEC W 1000 FT & POINT OF ENDING & ALL THAT PART OF LOT 35 LYING ELY OF A LINE WHICH IS 125 FT ELY OF & PARALLEL TO SURVEY LINE OF U S 10 HAPPY HOME ACRES	
25-15-02-576-007	BURGESS, HOWARD R & GERTRUDE E	5456 VAN SLYKE RD	\$67,758
		ALL THAT PART OF LOT 36 LYING NELY OF A LINE WHICH IS 125 FT NELY OF AND PARALLEL TO SURVEY LINE OF U S 10 HAPPY HOME ACRES	
25-15-02-576-026	GENESEE INTERMEDIATE SCHOOLS	2126 HILL RD	\$0
		ALL THAT PART OF LOTS 30 31 32 35 & 36 LYING SWLY OF A LINE 125 FT SWLY OF & PARALLEL TO A LINE DESCRIBED AS BEG S 88 DEG 36 MIN 33 SEC W 298.51 FT FROM SE COR OF SEC 2 T6N R6E TH N 45 DEG 24 MIN 27 SEC W 1500 FT & POINT OF ENDING & ALL THAT PART OF LOT 33 LYING SWLY OF A LINE WHICH IS 125 FT SWLY OF & PARALLEL TO SURVEY LINE OF U S 10 & LOT 34 HAPPY HOME ACRES	
25-15-02-651-001	SHERYL STEPHENS LLC	5206 GATEWAY CTR	\$550,507
	UNIT 1 GATEWAY FINANCIAL CENTRE		
25-15-02-651-002	SHERYL STEPHENS LLC	5206 GATEWAY CTR	\$492,104
	UNIT 2 GATEWAY FINANCIAL CENTRE		
25-15-02-651-003	SHERYL STEPHENS LLC	5206 GATEWAY CTR	\$107,345
	UNIT 3 GATEWAY FINANCIAL CENTRE		
25-15-02-652-005	BMI INVESTMENT ASSOCIATES	5100 GATEWAY CTR	\$213,908
	ALL THAT PART OF UNIT 4 LYING IN SD-1502 GATEWAY CENTER SITE CONDO		
25-15-02-652-006	BMI INVESTMENT ASSOCIATES	5100 GATEWAY CTR	\$723,659
	ALL THAT PART OF UNIT 4 LYING IN SD-1503 GATEWAY CENTRE SITE CONDO		
25-15-02-652-003	GATEWAY PROPERTIES INC	GATEWAY CTR	\$40,763
	ALL THAT PART OF UNIT 2 LYING IN SD-1503 GATEWAY CENTRE SITE CONDO		
25-15-02-652-004	GATEWAY PROPERTIES INC	GATEWAY CTR	\$13,500
	ALL THAT PART OF UNIT 2 LYING IN SD-1502 GATEWAY CENTRE SITE CONDO		
25-15-02-676-001	HILL ROAD GRILL INC	2160 HILL RD	\$302,700
	UNIT 1 BMP GROUP CENTER		
25-15-02-676-002	SABO PROPERTIES LLC	5321 GATEWAY CTR	\$297,029
	UNIT 2 BMP GROUP CENTER		
25-15-02-676-003	BLACK ACRE INVESTMENTS LLC	GATEWAY CTR	\$74,000
	UNIT 3 BMP GROUP CENTER		
25-15-02-676-004	GENESEE PROPERTIES ENTERPRISES	5417 GATEWAY CTR	\$285,000
	UNIT 4 BMP GROUP CENTER		
25-15-02-677-001	SHA-SHA ASSOCIATES LLC	5151 GATEWAY CTR	\$154,334
	UNIT 1 GATEWAY POINTE CONDO		
25-15-02-677-002	BATTLE WORTHY LLC	5151 GATEWAY CTR	\$179,526
	UNIT 2 GATEWAY POINTE CONDO		
25-15-02-677-003	AFC INVESTMENT CO, LLC	5151 GATEWAY CTR	\$167,496
	UNIT 3 GATEWAY POINTE CONDO		
25-15-02-677-004	M2 GATEWAY LLC	5151 GATEWAY CTR	\$72,000
	UNIT 4 GATEWAY POINTE CONDO		
25-15-02-677-005	GATEWAY PROPERTIES INC	5161 GATEWAY CTR	\$196,777
	UNIT 5 GATEWAY POINTE CONDO		
25-15-02-677-006	HSS PROPERTIES LLC	5141 GATEWAY CTR	\$105,500
	UNIT 6 GATEWAY POINTE CONDO		
25-15-02-677-007	ICON HOLDINGS LLC	5141 GATEWAY CTR STE 200	\$295,098
	UNIT 7 GATEWAY POINTE CONDO		
25-15-02-677-008	SNIDER PROPERTIES LLC	5141 GATEWAY CTR	\$105,500
	UNIT 8 GATEWAY POINTE CONDO		

Parcel ID	Owner Name	Property Address	Base Value
25-15-03-300-001	BISHOP INTERNATIONAL AIRPORT AUTHOR	HILL RD	\$0
	S 616 FT OF E 1/2 OF SW 1/4 EXCEPT S 500 FT OF W 495 FT ALSO EXCEPT E 212.5 FT OF W 907.5 FT OF S 614.96 FT ALSO EXCEPT S 600 FT OF E 25 A OF SW 1/4 & S 616 FT OF W 1/4 OF SE 1/4 EXCEPT E 182.5 FT OF S 396 FT ALSO EXCEPT W 187.5 FT OF S 600 FT SEC 3 T6N R6E		
25-15-03-300-002	BISHOP INTERNATIONAL AIRPORT AUTHOR	HILL RD	\$0
	S 600 FT OF E 25 A OF SW 1/4 AND S 600 FT OF W 187.5 FT OF SE 1/4 SEC 3 T6N R6E		
25-15-03-300-003	BISHOP INTERNATIONAL AIRPORT AUTHOR	3308 HILL RD	\$0
	E 212.5 FT OF W 907.5 FT OF S 614.96 FT OF E 1/2 OF SW 1/4 SEC 03 T6N R6E		
25-15-03-400-008	THORPE TRUST, MARION	HILL RD	\$4,874
	A PARCEL OF LAND BEG AT NE COR OF LOT 28 ROCKCREEK FARMS N 89 DEG 11 MIN 08 SEC W 200 FT TH N 0 DEG 48 MIN 52 SEC E 364.66 FT TH S 89 DEG 34 MIN 19 SEC E 200 FT TH S 0 DEG 25 MIN 41 SEC E TO PL OF BEG SEC 3 T6N R6E		
25-15-03-400-009	KETZLER INVESTMENT	HILL RD	\$13,854
	E 100 FT OF W 200 FT OF S 300 FT OF E 3/4 OF SE 1/4 & A PARCEL OF LAND BEG AT NW COR OF LOT 32 ROCKCREEK FARMS TH N 89 DEG 11 MIN 08 SEC W 100 FT TH N 0 DEG 00 MIN 41 SEC E 96 FT TH N 89 DEG 11 MIN 08 SEC W 100 FT TH N 0 DEG 00 MIN 41 SEC E 510 FT TH S 89 DEG 59 MIN 19 SEC E 80 FT TH S 62 DEG 46 MIN 12 SEC E 134.92 FT TH S 0 DEG 00 MIN 41 SEC W 547.09 FT TO PLACE OF BEG SEC 3 T6N R6E		
25-15-03-400-010	KETZLER INVESTMENT	3188 HILL RD	\$47,385
	W 100 FT OF S 396 FT OF E 3/4 OF SE 1/4 SEC 3 T6N R6E		
25-15-02-652-007	WENDLING, LISA LLC	GATEWAY CENTRE	\$60,000
	UNIT 3 GATEWAY CENTRE		
25-15-03-400-016	KETZLER, TONYA L	HILL RD	\$61,981
	E 182.5 FT OF S 396 FT OF W 1/4 OF SE 1/4 SEC 03 T6N R6E		
25-15-03-400-014	THORPE TRUST, MARION	HILL RD	\$2,873
	A PARCEL OF LAND BEG AT NW COR OF LOT 26 ROCKCREEK SUB TH N 0 DEG 25 MIN 41 SEC E 410.61 FT TH S 89 DEG 34 MIN 19 SEC E 160.54 FT TH S 0 DEG 25 MIN 41 SEC W 410.61 FT TH N 89 DEG 34 MIN 19 SEC W 162.30 FT TO POB EXC W 100 FT SEC 3 T6N R6E		
25-15-03-400-015	GENESEE COUNTY LAND BANK AUTHORITY	HILL RD	\$0
	A POL BEG AT NW COR OF LOT 27 ROCKCREEK FARMS TH N 0 DEG 25 MIN 41 SEC W 410.60 FT TH S 89 DEG 34 MIN 19 SEC E 100 FT TH S 0 DEG 25 MIN 41 SEC W 410.61 FT TH N 89 DEG 34 MIN 19 SEC W TO POB SEC 3 T6N R6E		
25-15-03-576-011	CLARK, MARK	5448 TORREY RD	\$49,515
	LOT 11 ROCKCREEK FARMS		
25-15-03-576-012	TENNANT, LYNDSEY	5466 TORREY RD	\$56,828
	LOT 12 ROCKCREEK FARMS		
25-15-03-576-013	HOWE, KRISTA	5476 TORREY RD	\$56,859
	LOT 13 ROCKCREEK FARMS		
25-15-03-576-014	THORPE TRUST, MARION	5486 TORREY RD	\$59,857
	LAND BEG N 2673.08 FT & N 89 DEG 04 MIN 33 SEC W 616.08 FT & S 1562.93 FT FROM SE COR OF SEC TH W 240.13 FT TH S 0 DEG 25 MIN 41 SEC W 851.61 FT TH S 89 DEG 34 MIN 19 SEC E 612.51 FT TH N 626.16 FT TH W 366 FT TH N 230 FT TO PL OF BEG & A PARCEL OF LAND BEG AT SW COR OF LOT 10 ROCKCREEK FARMS TH W 366 FT TH S 183 FT TH E 366 FT TH N 183 FT TO PL OF BEG SEC 3 T6N R6E		
25-15-03-576-015	FENDERT, RONALD D & JANET L	5496 TORREY RD	\$59,857

Parcel ID	Owner Name	Property Address	Base Value
25-15-03-576-016	LOT 15 ROCKCREEK FARMS HAYNES, JOHN & AMOROSE ADRIA	5506 TORREY RD	\$59,327
25-15-03-576-017	LOT 16 ROCKCREEK FARMS M TURCHI DEVELOPMENT LLC	5516 TORREY RD	\$148,165
25-15-03-576-018	LOT 17 ROCKCREEK FARMS R & E MORGAN LLC	5522 TORREY RD	\$216,573
25-15-03-576-020	LOTS 18 & 19 ROCKCREEK FARMS ISAAC, IMAD	3040 HILL RD	\$42,787
25-15-03-576-022	LOTS 20 & 21 ROCKCREEK FARMS RIGG, TERRY	3050 HILL RD	\$55,625
25-15-03-576-023	LOT 22 ROCKCREEK FARMS WAGGONER, TRENTON	3060 HILL RD	\$60,971
25-15-03-576-024	LOT 23 ROCKCREEK FARMS HYDE, DENNIS	3070 HILL RD	\$61,946
25-15-03-576-025	LOT 24 ROCKCREEK FARMS ZREALTY LLC	3080 HILL RD	\$56,620
25-15-03-576-026	LOT 25 ROCKCREEK FARMS HELMAN, BRENDA L	3096 HILL RD	\$64,663
25-15-03-576-027	LOT 26 ROCKCREEK FARMS & A PARCEL OF LAND BEG AT NW COR OF LOT 26 ROCKCREEK FARMS TH N 0 DEG 25 MIN 41 SEC E 410.61 FT TH S 89 DEG 34 MIN 19 SEC E 100 FT TH S 0 DEG 25 MIN 41 SEC W 410.61 FT TH N 89 DEG 34 MIN 19 SEC W 100 FT TO PL OF BEG SEC 3 T6N R6E VANBUSKIRK, RONALD	3104 HILL RD	\$44,726
25-15-03-576-028	LOT 27 ROCKCREEK FARMS FERGUSON, STEVEN & ROSE	3124 HILL RD	\$60,900
25-15-03-576-029	LOT 28 ROCKCREEK FARMS HOUNAM, CHARLES D	3136 HILL RD	\$57,508
25-15-03-576-030	LOT 29 ROCKCREEK FARMS BRIER, WAYNE A	3158 HILL RD	\$60,379
25-15-03-576-031	LAND BEG AT NW COR OF LOT 32 ROCKCREEK FARMS TH N 0 DEG 00 MIN 41 SEC E 545.87 FT TH S 62 DEG 05 MIN 45 SEC E 399.18 FT TH S 89 DEG 34 MIN 19 SEC E 92.46 FT TH S 0 DEG 48 MIN 52 SEC W 364.66 FT TH N 89 DEG 11 MIN 08 SEC W 440.2 FT TO PLACE OF BEG SEC 3 T6N R6E CRANMORE, WILLIAM & CONNIE F	3168 HILL RD	\$50,031
25-15-03-576-032	LOT 31 ROCKCREEK FARMS BURKETT, DAVID MAC & KATHLEEN ANN	3178 HILL RD	\$56,723
25-15-03-576-034	LOT 32 ROCKCREEK FARMS TORREY HILLS MI LLC	TORREY RD	\$3,440
25-15-03-576-035	OUTLOT B ROCKCREEK FARMS TORREY HILLS MI LLC	HILL RD	\$3,440
25-15-10-200-002	OUTLOT C ROCKCREEK FARMS MICHIGAN FENCE REALTY LLC	3041 HILL RD	\$3,743
25-15-10-200-003	A PARCEL OF LAND BEG 315.5 FT W OF NE COR OF SEC TH S 155.5 FT TH W 86 FT TH N 155.5 FT TH E 86 FT TO PL OF BEG SEC 10 T6N R6E MICHIGAN FENCE REALTY LLC	3045 HILL RD	\$35,307
25-15-10-200-005	A PARCEL OF LAND BEG 401.5 FT W OF NE COR OF SEC TH S 155.5 FT TH W 80 FT TH N 155.5 FT TH E 80 FT TO PLACE OF BEG SEC 10 T6N R6E PETTY TRUST, THOMAS D	3103 HILL RD	\$48,563
25-15-10-200-008	W 135 FT OF E 1089.5 FT OF N 300 FT OF NE 1/4 SEC 10 T6N R6E BELZER, F. JACK	3153 HILL RD	\$93,772
	A PARCEL OF LAND BEG 135.43 FT W OF NE COR OF W 1/2 OF NE 1/4 TH W 375 FT TH S 48 DEG 53 MIN 58 SEC E 497.64 FT TH N 327.14 FT TO PLACE OF BEG SEC 10 T6N R6E		

Parcel ID	Owner Name	Property Address	Base Value
25-15-10-200-009	KELLY, STACY	3211 HILL RD E 267 FT OF W 650 FT OF N 437.7 FT OF NW ¼ OF NE 1/4 SEC 10 T6N R6E	\$65,229
25-15-10-200-010	IDEAL LIVING HOMES LLC	3231 HILL RD N 437.7 FT OF W 383 FT OF W 1/2 OF NE ¼ SEC 10 T6N R6E	\$64,653
25-15-10-200-018	FROST, DOUGLAS N	3125 HILL RD A POL BEG 1089.50 FT W OF NE COR OF SEC TH W 355.35 FT TH S 327.14 FT TH N 48 DEG 53 MIN 58 SEC W 497.64 FT TH S 686 FT TH E 743.25 FT TH N 1 DEG 04 MIN 38 SEC W 686.12 FT TO POB EXC GEN CO RD COMM ROW SEC 10 T6N R6E	\$55,221
25-15-10-200-022	MICHIGAN FENCE COMPANY, INC	3067 HILL RD A PARCEL OF LAND BEG N 88 DEG 55 MIN 12 SEC W 481.50 FT FROM NE COR OF SEC TH S 159.67 FT TH S 89 DEG 25 MIN E 151.44 FT TH S 331.64 FT TH N 88 DEG 55 MIN 12 SEC W 374.96 FT TH N 490 FT TH S 88 DEG 55 MIN 12 SEC E 223.50 FT TO PL OF BEG SEC 10 T6N R6E	\$192,926
25-15-10-200-023	FROST TRUST, JACK E & MAXINE B	6308 TORREY RD A PARCEL OF LAND BEG AT E 1/4 COR OF SEC TH S 02 DEG 31 MIN 28 SEC E 534.78 FT TH S 88 DEG 24 MIN 15 SEC W 424.30 FT TH S 02 DEG 31 MIN 28 SEC E 128.32 FT TH S 88 DEG 24 MIN 15 SEC W 893.85 FT TH N 02 DEG 17 MIN 47 SEC W 664.68 FT TH S 88 DEG 28 MIN 27 SEC W 1315.53 FT TH N 02 DEG 04 MIN 10 SEC W 2228.92 FT TH N 88 DEG 45 MIN 02 SEC E 650 FT TH N 02 DEG 04 MIN 10 SEC W 437.70 FT TH N 88 DEG 45 MIN 02 SEC E 149.30 FT TH S 01 DEG 14 MIN 58 SEC E 686 FT TH N 88 DEG 45 MIN 02 SEC E 743.29 FT TH N 02 DEG 19 MIN 48 SEC W 386.12 FT TH N 88 DEG 45 MIN 02 SEC E 135 FT TH N 02 DEG 19 MIN 48 SEC W 300 FT TH N 88 DEG 45 MIN 02 SEC E 264 FT TH S 02 DEG 19 MIN 48 SEC E 490 FT TH N 88 DEG 45 MIN 02 SEC E 375.46 FT TH S 02 DEG 19 MIN 48 SEC E 839.96 FT TH N 88 DEG 23 MIN 05 SEC E 80.02 FT TH S 02 DEG 19 MIN 48 SEC E 98.22 FT TH N 88 DEG 36 MIN 43 SEC E 250 FT TH S 02 DEG 19 MIN 48 SEC E 66.81 FT TH S 88 DEG 23 MIN 05 SEC W 247.87 FT TH ON A CURVE TO THE RIGHT CHORD=N 46 DEG 58 MIN 21 SEC W 210.81 FT TH N 02 DEG 19 MIN 48 SEC W 20.23 FT TH S 88 DEG 36 MIN 43 SEC W 670 FT TH N 02 DEG 19 MIN 48 SEC W 108.20 FT TH S 88 DEG 36 MIN 43 SEC W 780 FT TH S 29 DEG 33 MIN 46 SEC E 224.66 FT TH N 88 DEG 36 MIN 43 SEC E 226 FT TH S 33 DEG 24 MIN 13 SEC E 77.88 FT TH S 34 DEG 47 MIN 49 SEC W 210.36 FT TH N 88 DEG 36 MIN 43 SEC E 284 FT TH S 02 EG 19 MIN 48 SEC E 416.28 FT TH N 88 DEG 36 MIN 43 SEC E 160 FT TH S 02 DEG 19 MIN 48 SEC E 50 FT TH N 88 DEG 36 MIN 43 SEC E 830 FT TH S 02 DEG 19 MIN 48 SEC E 132 FT TH N 88 DEG 36 MIN 43 SEC E 70 FT TH S 02 DEG 19 MIN 48 SEC E 224.50 FT TH N 88 DEG 36 MIN 43 SEC E 260 FT TH S 02 DEG 19 MIN 48 SEC E 178.57 FT TO PL OF BEG EXCEPT N 132 FT OF N 1/2 OF NE ¼ OF SE 1/4 SEC 10 T 6N R6E	\$221,866
25-15-10-526-010	TORREY-HILL PLAZA INC	6004 TORREY RD LOTS 8 & 9 FROST ACRES & A POL BEG AT NE COR OF SEC TH W 315.5 FT TH S 155.5 FT TH E 315.5 FT TH N 155.5 FT TO POB EXC N 60 FT ALSO EXC E 50 FT SEC 10 T6N R6E	\$761,895
25-15-10-626-001	OAKLAND COUNTY DEVELOPMENT LLC	6060 TORREY RD UNIT 1 6060 TORREY ROAD	\$140,654
25-15-10-626-002	RISING STREET PARTNERSHIP	6060 TORREY RD UNIT 2 6060 TORREY ROAD	\$88,234
25-15-10-626-010	RISING STREET PARTNERSHIP	6060 TORREY RD UNIT 10 6060 TORREY ROAD	\$127,482
25-15-10-626-004	RISING STREET PARTNERSHIP	6060 TORREY RD UNIT 4 6060 TORREY ROAD	\$105,743
25-15-10-626-005	RISING STREET PARTNERSHIP	6060 TORREY RD UNIT 5 6060 TORREY ROAD	\$72,939
25-15-10-626-006	RISING STREET PARTNERSHIP	6060 TORREY RD UNIT 6 6060 TORREY ROAD	\$201,609
25-15-10-626-007	JM PROPERTY LLC	6060 TORREY RD UNIT 7 6060 TORREY ROAD	\$109,710
25-15-10-626-008	RISING STREET PARTNERSHIP	6060 TORREY RD	\$128,320

Development and TIF Plan

Parcel ID	Owner Name	Property Address	Base Value
25-15-10-626-009	UNIT 8 6060 TORREY ROAD MCGUIRK BROTHERS INVESTMENTS	6060 TORREY RD	\$141,071
25-15-11-100-005	UNIT 9 6060 TORREY ROAD FLANDERS, JANE E	6071 TORREY RD	\$46,269
25-15-11-100-006	S 110 FT OF N 803 FT OF W 480 FT OF NW ¼ OF NW 1/4 SEC 11 T6N R6E MILLER, JAMES P	6063 TORREY RD	\$39,988
25-15-11-100-007	S 160 FT OF N 693 FT OF W 480 FT OF NW ¼ OF NW 1/4 SEC 11 T6N R6E LA HILL ROAD LLC	6049 TORREY RD	\$12,800
25-15-11-100-008	S 92.50 FT OF N 533 FT OF W 480 FT OF NW ¼ OF NW 1/4 SEC 11 T6N R6E LA HILL ROAD LLC	6039 TORREY RD	\$12,800
25-15-11-100-009	S 92.50 FT OF N 440.5 FT OF W 480 FT OF NW 1/4 OF NW 1/4 SEC 11 T6N R6E LA HILL ROAD LLC	2479 HILL RD	\$137,100
25-15-11-100-010	W 480 FT OF N 348 FT OF NW 1/4 OF NW ¼ EXCEPT N 235 FT OF W 225 FT SEC 11 T6N STORE MASTER FUNDING VII LLC	2525 HILL RD	\$166,485
25-15-11-100-014	W 225 FT OF N 235 FT OF NW 1/4 OF NW ¼ SEC 11 T6N R6E LAGUIRE II, THEODORE & BRENDA	6056 WENDT DR	\$74,133
25-15-11-100-015	S 160 FT OF N 693 FT OF E 285 FT OF W 765 FT OF NW 1/4 OF NW 1/4 SEC 11 T6N R6E WILLIAMS, JERALD M & TINA A	6078 WENDT DR	\$42,517
25-15-11-100-024	S 160 FT OF N 853 FT OF E 285 FT OF W 765 FT OF NW 1/4 OF NW 1/4 SEC 11 T6N R6E DROUIN, DALE A & ANGELITA	6085 WENDT DR	\$58,500
25-15-11-100-025	S 100 FT OF N 873 FT OF E 500 FT OF NW ¼ OF NW 1/4 SEC 11 T6N R6E SMITH, MICHAEL W	6075 WENDT DR	\$23,211
25-15-11-100-026	S 75 FT OF N 773 FT OF E 500 FT OF NW 1/4 OF NW 1/4 SEC 11 T6N R6E SMITH, MICHAEL W	6065 WENDT DR	\$44,082
25-15-11-100-027	S 175 FT OF N 698 FT OF E 500 FT OF NW ¼ OF NW 1/4 SEC 11 T6N R6E J VIRGIL INC	6049 WENDT DR	\$83,200
25-15-11-100-028	S 175 FT OF N 523 FT OF E 500 FT OF NW ¼ OF NW 1/4 SEC 11 T6N R6E MUNDY PROPERTIES LLC	HILL RD	\$259,111
25-15-11-100-030	A PARCEL OF LAND BEG S 89 DEG 37 MIN 39 SEC E 818.27 FT & S 0 DEG 14 MIN 11 SEC E 60 FT FROM NW COR OF SEC TH S 89 DEG 37 MIN 39 SEC E 200 FT TH S 0 DEG 14 MIN 11 SEC E 288 FT TH N 89 DEG 37 MIN 30 SEC W 200 FT TH N 0 DEG 14 MIN 11 SEC W 288 FT TO POB SEC 11 T6N R6E HILL ROAD INVESTORS	HILL RD	\$88,805
25-15-11-100-031	ALL THAT PART OF E 1/4 OF NW 1/4 LYING ELY OF A LINE DESC AS BEG 165.42 FT W OF N 1/4 COR OF SEC TH S 16 DEG 11 MIN 01 SEC W 765.23 FT TO A POINT WHICH IS 130 FT ELY OF C/L OF U S 23 TH SLY AND PARALLEL WITH SAID C/L TO POINT OF ENDING SEC 11 T6N R6E BANK ONE CORPORATE REAL ESTATE	2411 HILL RD	\$472,672
25-15-11-100-032	A PARCEL OF LAND BEG S 89 DEG 37 MIN 39 SEC E 1256.51 FT & S 0 DEG 22 MIN 21 SEC W 70 FT FROM NW COR OF SEC TH S 0 DEG 22 MIN 21 SEC W 110 FT TH ON CURVE TO LEFTCHORD- S 24 DEG 57 MIN 07 SEC E 152.28 FT TH S 0 DEG 14 MIN 11 SEC E 30.34 FT TH N 89 DEG 37 MIN 39 SEC W 300 FT TH N 0 DEG 14 MIN 11 SEC W 278 FT TH S 89 DEG 37 MIN 39 SEC E 237.50 FT TO PL OF BEG SEC 11 T6N R6E J VIRGIL INC	6054 HILL 23 DR	\$187,300
25-15-11-100-034	A PARCEL OF LAND BEG S 89 DEG 37 MIN 39 SEC E 1256.51 FT & S 0 DEG 22 MIN 21 SEC W 180 FT & ON CURVE TO LEFT -CHORD- S 24 DEG 30 MIN 07 SEC E 152.28 FT FROM NW COR OF SEC, TH S 0 DEG 14 MIN 11 SEC E 456.69 FT TH S 89 DEG 37 MIN 39 SEC E 345 FT TH N 0 DEG 14 MIN 11 SEC W 176.62 FT TH ON CURVE TO LEFT -CHORD- N 28 DEG 55 MIN 55 SEC W 107.56 FT TH N 57 DEG 37 MIN 39 SEC W 326.39 FT TH ON CURVE TO RIGHT - CHORD- N 54 DEG 41 MIN 13 SEC W 22.61 FT TO PLACE OF BEG SEC 11 T6N R6E MC DONALD'S CORPORATION	6015 HILL 23 DR	\$276,384

Development and TIF Plan

Parcel ID	Owner Name	Property Address	Base Value
25-15-11-100-037	HJW CRAWFORD INC	6053 HILL 23 DR	\$253,969
25-15-11-100-039	M&M HOTELS LLC	6075 HILL 23 DR	\$958,550
25-15-11-100-042	G&G LLC	2457 HILL RD	\$584,028
25-15-11-100-043	CROWNE POINT DEVELOPMENT	RASHELLE DR	\$33,285
25-15-11-100-044	GARA PROPERTIES	RASHELLE DR	\$33,285
25-15-11-200-005	EDS ENTERPRISES	6060 BIRCH RD	\$216,168
25-15-11-200-006	SPRAGUE, KEITH R & VICKI E	6086 BIRCH RD	\$120,000

Development and TIF Plan

Parcel ID	Owner Name	Property Address	Base Value
25-15-11-200-008	W K L D LLC	2109 HILL RD	\$372,728
25-15-11-200-009	C&Y VENTURES LLC	6045 BIRCH RD	\$292,400
25-15-11-200-010	BRINK VENTURES, LLC	6079 BIRCH RD	\$249,889
25-15-11-200-012	CARP PROPERTIES LLC	2085 HILL RD	\$334,300
25-15-11-200-013	CARP PROPERTIES LLC	HILL RD	\$54,000
25-15-11-200-027	METRO-HILL I LC	2219 HILL RD	\$248,395
25-15-11-200-032	METRO-HILL I LC	2229 HILL RD	\$480,178
25-15-11-200-033	METRO-HILL II LC	HILL RD	\$191,995
25-15-11-200-035	BRINK VENTURES LLC	HILL RD	\$94,200
25-15-11-200-038	BRINK VENTURES LLC	BIRCH RD	\$54,905
25-15-11-200-040	BIRCH DRIVE PROPERTIES LLC	6100 BIRCH RD	\$124,377

Development and TIF Plan

Parcel ID	Owner Name	Property Address	Base Value
25-15-11-200-041	MILLENNIUM AUTO GROUOP	6102 BIRCH RD	\$105,756
	A PARCEL OF LAND BEG S 89 DEG 58 MIN 47 SEC E 1260.84 FT & S 0 DEG 02 MIN W 379.97 FT FROM N 1/4 COR OF SEC TH N 89 DEG 58 MIN 47 SEC W 266.01 FT TH S 0 DEG 41 MIN 41 SEC E 230.05 FT TH E 263.09 FT TH N 0 DEG 02 MIN E TO PL OF BEG SEC 11 T6N R6E		
25-15-11-601-001	RABIDI, LLC	6240 RASHELLE DR	\$2,684,473
	UNIT 2 CROWNE POINT CAMPUS		
25-15-11-601-002	ALPINE FLINT, LLC	RASHELLE DR	\$3,185,937
	UNIT 3 CROWNE POINT CAMPUS		
25-15-11-602-001	GLOBAL RESOURCE MANAGEMENT	6140 RASHELLE DR SUITE 1	\$86,521
	UNIT 1 6140 CROWNE POINT		
25-15-11-602-006	CROWNE POINT DEVELOPMENT	6140 RASHELLE DR SUITE 2	\$565,984
	UNIT 2,3,4,5 6140 CROWNE POINT		
25-15-10-626-011	RISING STREET PARTNERSHIP	6060 TORREY RD	\$88,837
	UNIT 3 6140 CROWNE POINT		
25-15-12-100-006	DIEM, ERNEST B	HILL RD	\$103,952
	ALL THAT PART OF W 499.11 FT OF W 1/2 OF NW 1/4 LYING NELY OF A LINE WHICH IS 140 FT NELY OF AND PARALLEL TO SURVEY LINE OF U S 10 EXCEPT E 85 FT OF N 158 FT SEC 12 T6N R6E		
25-15-12-100-007	DIEM, ERNEST B	1485 HILL RD	\$30,743
	E 85 FT OF W 499.11 FT OF N 158 FT OF NW ¼ SEC 12 T6N R6E		
25-15-12-100-008	US LAND INVESTMENTS, LLC	1473 HILL RD	\$79,582
	A PARCEL OF LAND BEG 499.11 FT E OF NW COR OF SEC TH S 320 FT TH E 100 FT TH N 320 FT TH W 100 FT TO PL OF BEG SEC 12 T6N R6E		
25-15-12-100-009	BAUMAN, MARK E	1453 W HILL RD	\$80,406
	A PARCEL OF LAND BEG 676.18 FT E OF NW COR OF SEC TH E 115.51 FT TH S 2 DEG 54 MIN 30 SEC W 305.45 FT TH N 86 DEG 21 MIN W 55.75 FT TH N 44 DEG 32 MIN W 51 FT TH N 1 DEG 52 MIN W 265.30 FT TO PL OF BEG SEC 12 T6N R6E		
25-15-12-100-010	TLB PROPERTIES LLC	6038 MICHAEL DR	\$176,133
	ALL THAT PART OF W 1/2 OF NW 1/4 LYING NELY OF A LINE 140 FT NELY OF & PARALLEL TO SURVEY LINE OF U S 10 EXCEPT W 499.11 FT ALSO EXCEPT E 100 FT OF W 599.11 FT OF N 320 FT ALSO EXCEPT A PARCEL OF LAND BEG 676.18 FT E OF NW COR OF SEC TH E 115.51 FT TH S 2 DEG 54 MIN 30 SEC W 305.45 FT TH N 86 DEG 21 MIN W 55.75 FT & N 44 DEG 32 MIN W 51 FT TH N 1 DEG 52 MIN W 265.30 FT TO PL OF BEG ALSO EXCEPT A PARCEL OF LAND BEG N 89 DEG 28 MIN 03 SEC E 1099.65 FT FROM NW COR OF SEC TH N 89 DEG 28 MIN 03 SEC E 237.34 FT TH S 1 DEG 33 MIN 57 SEC E 1475.36 FT TH N 45 DEG 23 MIN 57 SEC W 180.46 FT TH N 1 DEG 33 MIN 57 SEC W 357.44 FT TH S 89 DEG 28 MIN 03 SEC W 25 FT TH N 1 DEG 33 MIN 57 SEC W 402.78 FT TH N 10 DEG 46 MIN 03 SEC E 447.70 FT TH N 80 DEG 38 MIN W 209.36 FT TH N 10 DEG 18 MIN 30		
25-15-12-100-011	BURRELL REAL ESTATE INCORP	1417 HILL RD	\$79,378
	A PARCEL OF LAND BEG 1099.65 FT E OF NW COR OF SEC TH S 10 DEG 18 MIN 30 SEC W 116 FT TH S 80 DEG 38 MIN E 209.36 FT TH N 11 DEG 18 MIN E 151.04 FT TH W 215.25 FT TO PL OF BEG SEC 12 T6N R6E		
25-15-12-100-012	TLB PROPERTIES LLC	6049 BERTOLOZZI DR	\$64,673
	A PARCEL OF LAND BEG N 89 DEG 28 MIN 03 SEC E 1314.90 FT FROM NW COR OF SEC TH N 89 DEG 28 MIN 03 SEC E 22.09 FT TH S 1 DEG 33 MIN 57 SEC E 300 FT TH N 89 DEG 28 MIN 03 SEC E 132 FT TH S 1 DEG 33 MIN 57 SEC E 690 FT TH S 89 DEG 28 MIN 03 SEC W 132 FT TH S 1 DEG 33 MIN 57 SEC E 485.36 FT TH N 45 DEG 23 MIIN 57 SEC W 180.46 FT TH N 1 DEG 33 MIN 57 SEC W 357.44 FT TH S 89 DEG 28 MIN 03 SEC W 25 FT TH N 1 DEG 33 MIN 57 SEC W 402.78 FT TH N 10 DEG 46 MIN 03 SEC E 598.74 FT TO PL OF BEG SEC 12 T6N R6E		

Parcel ID	Owner Name	Property Address	Base Value
25-15-12-100-013	CARBONE ETAL, CARMINE	HILL RD	\$35,287
25-15-12-100-014	CARTE ENTERPRISES	1383 HILL RD	\$124,921
25-15-12-100-017	JAMTRIC LAND LLC	1315 HILL RD	\$219,600
25-15-12-100-021	JAMTRIC LAND LLC	1345 HILL RD	\$275,400
			\$378,778
25-15-12-100-023	HILL ROAD STORAGE CENTER, LLC	1287 HILL RD	
25-15-12-532-001	KINGSLEY SQUARE LLC	6070 FENTON RD	\$295,612
25-15-12-532-004	SALMAN PROPERTIES 2 LLC	6050 FENTON RD	\$117,044
25-15-12-532-005	DORTCH TRUST, LOUIS C	6020 FENTON RD	\$137,266
25-15-12-532-020	LOCAL UNION 948 OF IBE	1251 HILL RD	\$370,466
25-15-12-532-023	LUMSDEN, DIANE TRUST	1255 HILL RD	\$37,322
25-15-12-532-027	BRICADA LLC	1159 HILL RD	\$182,881
25-15-12-532-028	BRICADA LLC	1149 HILL RD	\$40,500
25-15-12-532-033	DORT FEDERAL CREDIT UNION	1091 HILL RD	\$442,750
25-15-12-532-034	BURGER STREET	1073 HILL RD	\$119,066
25-15-12-532-035	FENTON HILL PRTN SHP	1063 HILL RD	\$354,528
25-15-12-532-038	KAYJ HILL, INC	6010 FENTON RD	\$275,150
25-15-12-532-039	R LAMB PROPERTY HOLDINGS LLC	1225 HILL RD	\$1,663,349

Parcel ID	Owner Name	Property Address	Base Value
		N 30 FT OF LOT 232 & LOT 233 EXC E 18 FT OF S 330 FT & LOTS 234 & 235 & LOTS 244 THRU 249 & ALL THAT PART OF N 1/2 OF VAC ALTON AVE ADJ LOTS 234 & 235 ON THE SOUTH GRAND CENTRAL ESTATES NO 1	
25-15-12-532-041	TROY FENTON ROAD PLANT LLC	6020 FENTON RD	\$318,247
		PART OF LOTS 264 & 265 GRAND CENTRAL EST NO 1 BEG AT NE COR OF LOT 265 TH S 1 DEG 20 MIN E 155 FT TH N 89 DEG 40 MIN 35 SEC W 251 FT TH N 1 DEG 20 MIN W 125 FT TH S 89 DEG 40 MIN 35 SEC E 20 FT TH N 1 DEG 20 MIN W 30 FT TH S 89 DEG 40 MIN 35 SEC E 231 FT TO POB	
25-15-12-532-042	HUNTINGTON NATIONAL BANK	1027 HILL RD	\$403,600
		E 53 FT OF LOT 262 & LOT 263 & PART OF LOTS 264 & 265 BEG S 1 DEG 20 MIN E 155 FT & N 89 DEG 40 MIN 35 SEC W 251 FT FROM NE COR OF LOT 265 TH N 89 DEG 40 MIN 35 SEC W 70.71 FT TH N 1 DEG 20 MIN W 155 FT TH S 89 DEG 40 MIN 35 SEC E 90.71 FT TH S 1 DEG 20 MIN E 30 FT TH N 89 DEG 40 MIN 35 SEC W 20 FT TH S 1 DEG 20 MIN E 125 FT TO POB & W 147 FT OF LOTS 266 & 267 GRAND CENTRAL EST NO 1	
25-15-12-532-044	LUMSDEN, DIANE TRUST	1267 HILL RD	\$98,579
		LOT 238 & ALL THAT PART OF N 1/2 OF VACATED ALTON AVE ADJ LOT 238 ON THE S & LOTS 239 & 240 GRAND CENTRAL EST NO 1 & A POL BEG AT N 1/4 COR OF SECT TH S 1 DEG 38 MIN 57 SEC E 673.96 FT TH S 1 DEG 33 MIN 40 SEC E 28.54 FT TH S 89 DEG 26 MIN 03 SEC W 131.96 FT TH N 1 DEG 38 MIN 57 SEC W 702.54 FT TH N 89 DEG 44 MIN 55 SEC E 132 FT TO POB SEC 12 T6N R6E	
25-15-12-532-045	YASIN LLC	1133 HILL RD	\$230,217
		LOTS 253 & 254 GRAND CENTRAL EST NO 1	
25-15-12-626-001	PEGASUS OFFICE PARK LLC	1111 HILL RD	\$166,159
		UNIT 1 PEGASUS OFFICE PARK CONDO	
25-15-12-626-002	URO-DYNAMIC INVESTMENT GRP LLC	1121 HILL RD	\$526,447
		UNIT 2 PEGASUS OFFICE PARK CONDO	
25-15-12-626-003	PEGASUS OFFICE PARK LLC	1111 HILL RD	\$219,729
		UNIT 3 PEGASUS OFFICE PARK CONDO	
Total Base Value of District			\$58,401,680

APPENDIX C: PUBLIC INVOLVEMENT

Mundy Township Visioning Session Tuesday July 24, 2012, 7:00 p.m. Mundy Township Hall

Jennings Road to US 23

- Enhance building exteriors
- Add police mini-station with staff
- Reduce standardized sign sizes
- Access roads to reduce Hill Road traffic
- Elevated cross-walks over roads
- Widen bridge at Taylor/I75
- Extend Hill Road Corridor to Linden Road
- Add bike paths and sidewalks to connect residents and shopping
- Michigan left turn needed-traffic problem-boulevard 2 cuts with vegetation
- Access Road connecting commercial
- Create a self-contained community (senior, commercial, park, trails, township property, shops)
- Eliminate commercial properties after Torrey Road west
- Maintain agricultural properties
- Add non-motorized trails or lanes to connect neighboring communities
- Create entertainment district for hotels in area

US 23 to I75 Overpass

- Costco-type facility
- Target
- Pharmacy
- Convention center
- High- to Mid-rise housing
- Boulevard with restricted left turns
- Conference center/hotel/sports venue
- Light retail to take advantage of natural water in area
- Walking in wooded section for visitors to area
- Manicure and add lighting to exit/entrance ramps for US23
- European Plaza/Businesses
- Upgrade Industrial area
- Extension road to Taylor Road

I75 Overpass to Fenton Road

- Exit/entrance ramps from I75
- Eliminate blight, clean, make you want to stop, IMAGE!
- Split boulevard with landscaping and walkways
- Identification that you are entering Mundy Township

Development and TIF Plan

Hill Road Corridor Improvement Authority

Improve lighting
Upscale outlets/restaurants
Blvd. corridor/pedestrian ways/street lighting
Park area near lake on south side of Hill Road
Small senior community on north side of road (I think this is the Twp. Property) with park area, exits to Van Slyke and Hill Roads, pedestrian traffic, golf cart access to local businesses
South side of Hill Road has natural water area-is a natural for a park
Water Pond-outdoor sports
Big box stores
Quaint décor on buildings-uniformity

Township-owned Property

Senior retirement homes/complex
Big box stores
Sports complex
Open air mall with restaurants, movie theater, cultural center
Multi-purpose recreational facility for youth of community (indoor/outdoor)
Mixed-use development similar to Silver Lake Village in Fenton
Entertainment facilities
Library
Mixed-residential community with seniors and families
Sports complex to accommodate family activity at a low cost (include private)
Light retail

(Mundy Village)

Mundy Township Focus Group
Thursday July 26, 2012, 9:00 p.m.
Mundy Township Hall

A group of representatives from the business community, property owners and township representatives gathered to discuss the strengths, weaknesses and opportunities in the Hill Road Corridor. The results of that lively session are as follows:

Strengths

Access: I-475, US 23, I-69
Roads: High traffic volumes, center turn lane, good condition
Good mix of businesses
Access to wealthy areas
Safe with good police
Near a metro area-away from city issues
Good geographic location for motor coach tour stops
Airport-hospitality and business, UPS
Vacant Land
Perception of continued growth
Functions as travel nexus for Genesee County
Less congested than Miller Road area
Center of hospitality industry
Hill Road is connector for US 23 to I-475, downtown

Weaknesses

No identity: schools or nearby communities, post office
Flint zip code
Traffic light timing makes for a long trip
Lack off-ramp beautification
No I-75 exit
Lack of visual continuity: lighting, landscaping, design
Lack of identity/"brand"
No sidewalks or bike paths
No stated growth areas
No entertainment, must drive to support hospitality
No way finding for visitors
Egress is a problem: backups and forced "Michigan lefts"

Opportunities

Fix weaknesses
More restaurants and boutique shopping
Conference center
Add streetscape to US 23 interchange
Need to maintain high level of public safety (police)
To provide "small town" service to visitors
Some sort of Hill Road business association
Develop "Experience" economy: Unique with brand, downtown or hometown feel (Mundy Village)

Development and TIF Plan

Hill Road Corridor Improvement Authority

Walkable with central parking

Bike paths

Lake off of I-75: park, recreation fields

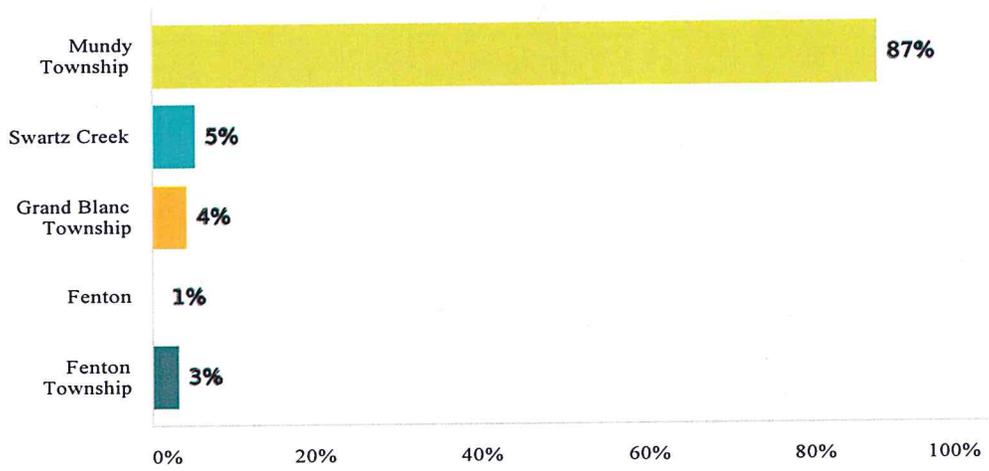
Township-owned land: public space, mixed-uses, protect natural areas, public or private use, cross access
with signal west of Fenton Road

Create a right turn lane to Fenton Road south from east bound Hill Road

Place appropriate uses (retail/office) on Hill Road frontage to shield view of industrial uses

Q1 Where do you live?

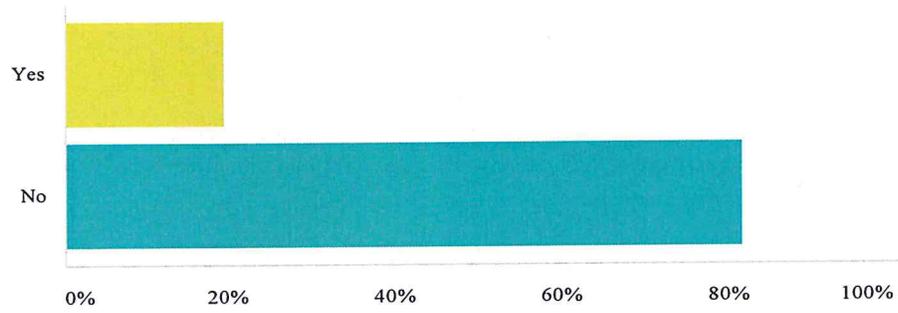
Answered: 100 Skipped: 3



Answer Choices	Responses	
Mundy Township	87%	87
Swartz Creek	5%	5
Grand Blanc Township	4%	4
Fenton	1%	1
Fenton Township	3%	3
Total		100
Other (please specify) (3)		

Q2 Do you live along the Hill Road corridor?

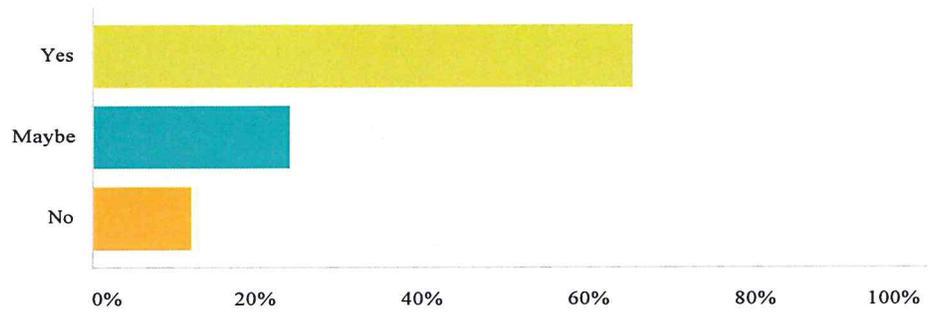
Answered: 90 Skipped: 13



Answer Choices	Responses	
Yes	18.89%	17
No	81.11%	73
Total		90

Q3 Do you think you will still be living along the Hill Road Corridor in 3-5 years?

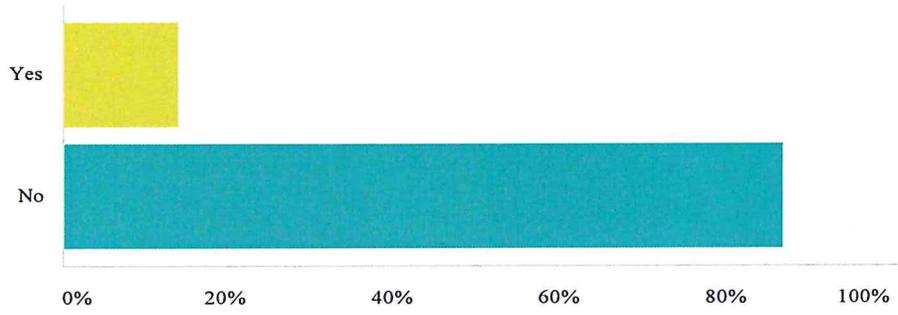
Answered: 17 Skipped: 86



Answer Choices	Responses	
Yes	64.71%	11
Maybe	23.53%	4
No	11.76%	2
Total		17

Q4 Do you work along the Hill Road Corridor?

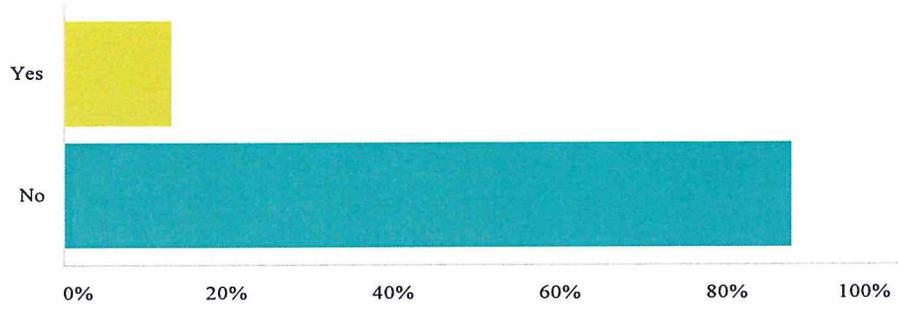
Answered: 102 Skipped: 1



Answer Choices	Responses	
Yes	13.73%	14
No	86.27%	88
Total		102

Q5 Do you own property along the Hill Road Corridor?

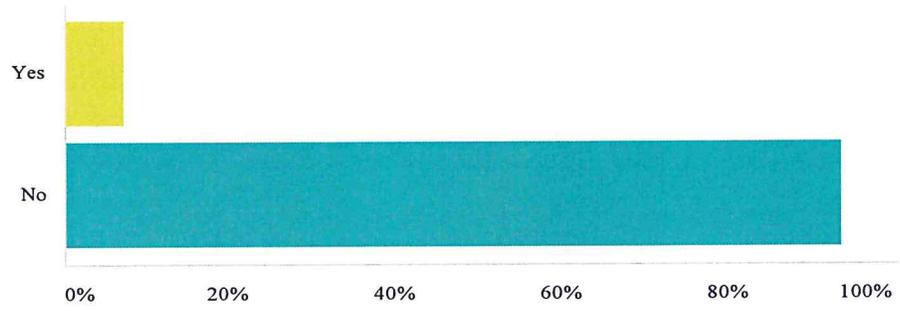
Answered: 102 Skipped: 1



Answer Choices	Responses	
Yes	12.75%	13
No	87.25%	89
Total		102

Q6 Do you own a business along the Hill Road Corridor?

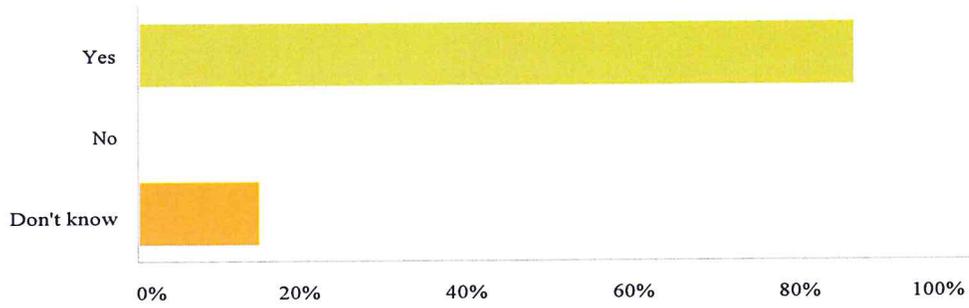
Answered: 102 Skipped: 1



Answer Choices	Responses	
Yes	6.86%	7
No	93.14%	95
Total		102

Q7 Do you think your business will still be located along Hill Road in 5 years?

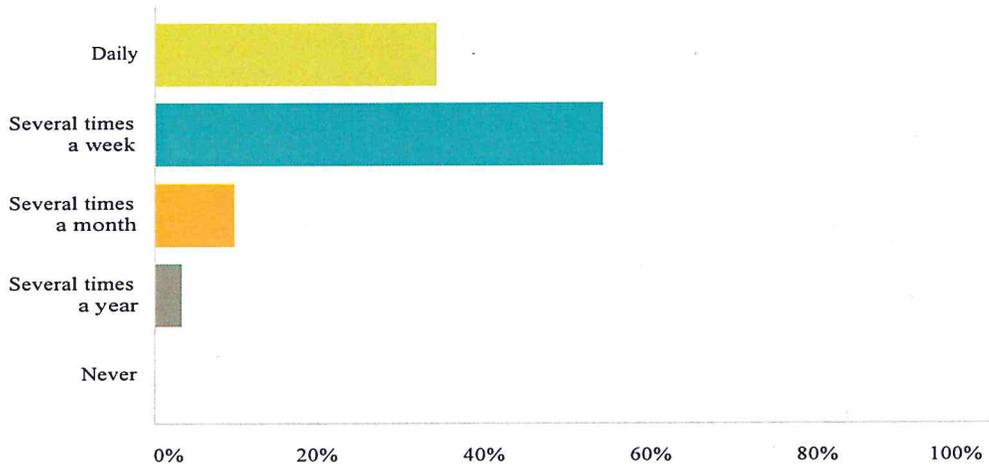
Answered: 7 Skipped: 96



Answer Choices	Responses	
Yes	85.71%	6
No	0%	0
Don't know	14.29%	1
Total		7

Q8 How often do you visit the Hill Road corridor for shopping, work, dining, or related activities?

Answered: 95 Skipped: 8



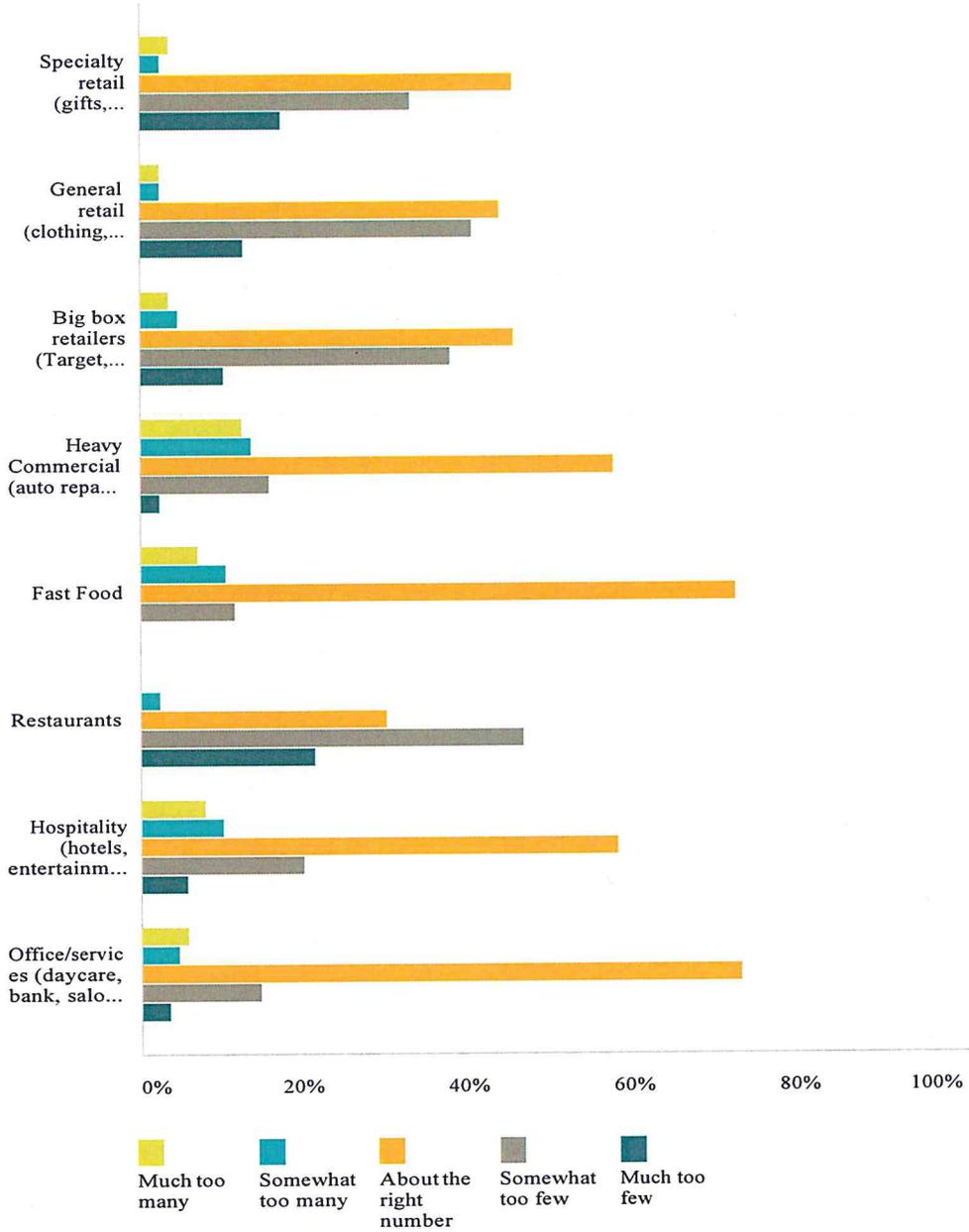
Answer Choices	Responses	
Daily	33.68%	32
Several times a week	53.68%	51
Several times a month	9.47%	9
Several times a year	3.16%	3
Never	0%	0
Total		95

Q9 What businesses do you go to most often along Hill Road?

Answered: 87 Skipped: 16

Q10 Does the Hill Road Corridor have too many, too few, or about the right number of the following businesses?

Answered: 92 Skipped: 11



	Much too many	Somewhat too many	About the right number	Somewhat too few	Much too few	Total
Specialty retail (gifts, boutiques, etc.)	3.37% 3	2.25% 2	44.94% 40	32.58% 29	16.85% 15	89
General retail (clothing, homegoods, etc.)	2.22% 2	2.22% 2	43.33% 39	40% 36	12.22% 11	90

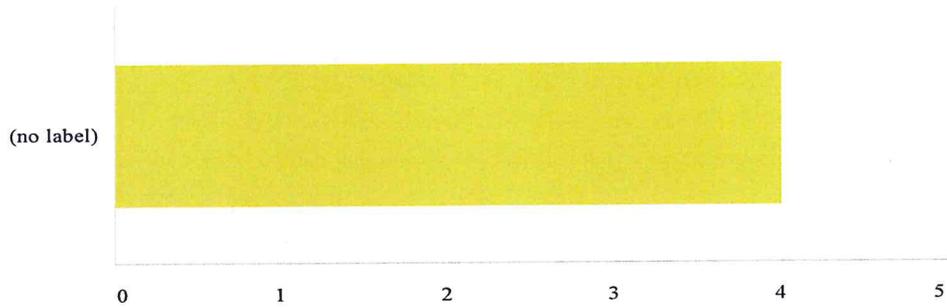
Mundy Twp Hill Rd Corridor Plan

Big box retailers (Target, Staples, Kroger)	3.30% ₃	4.40% ₄	45.05% ₄₁	37.36% ₃₄	9.89% ₉	91
Heavy Commercial (auto repair, contractor yards, etc.)	12.09% ₁₁	13.19% ₁₂	57.14% ₅₂	15.38% ₁₄	2.20% ₂	91
Fast Food	6.74% ₆	10.11% ₉	71.91% ₆₄	11.24% ₁₀	0% ₀	89
Restaurants	1.10% ₁	2.20% ₂	29.67% ₂₇	46.15% ₄₂	20.88% ₁₉	91
Hospitality (hotels, entertainment, etc.)	7.61% ₇	9.78% ₉	57.61% ₅₃	19.57% ₁₈	5.43% ₅	92
Office/services (daycare, bank, salon, medical, insurance, etc.)	5.49% ₅	4.40% ₄	72.53% ₆₆	14.29% ₁₃	3.30% ₃	91

Other (please specify) (9)

Q11 How safe do you feel when DRIVING along Hill Road?

Answered: 90 Skipped: 13

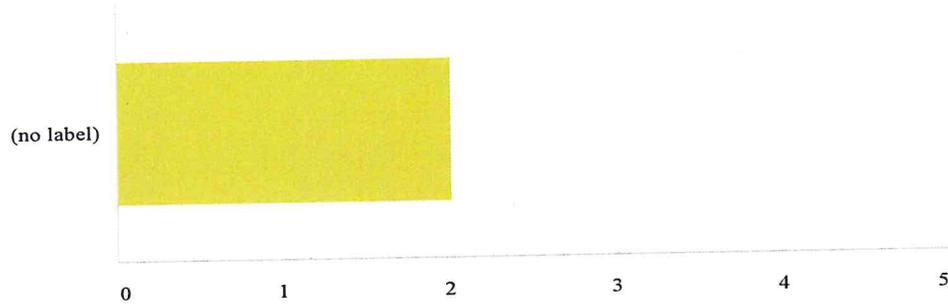


	Very safe	Somewhat safe	Neither safe nor unsafe	Somewhat unsafe	Very unsafe	Total	Average Rating
(no label)	30% 27	37.78% 34	18.89% 17	11.11% 10	2.22% 2	90	3.82

Other (please specify) (7)

Q12 How safe do you feel when WALKING along Hill Road?

Answered: 89 Skipped: 14

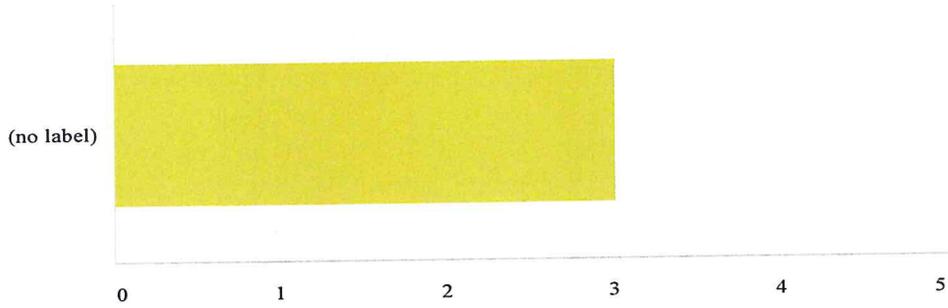


	Very unsafe	Somewhat unsafe	Neither safe nor unsafe	Somewhat safe	Very safe	N/A	Total	Average Rating
(no label)	33.71% 30	17.98% 16	8.99% 8	4.49% 4	5.62% 5	29.21% 26	89	2.02

Other (please specify) (18)

Q13 How would you rate the appearance of the entrance to Hill Road from the on and off ramps at the US-23/Hill Road interchange?

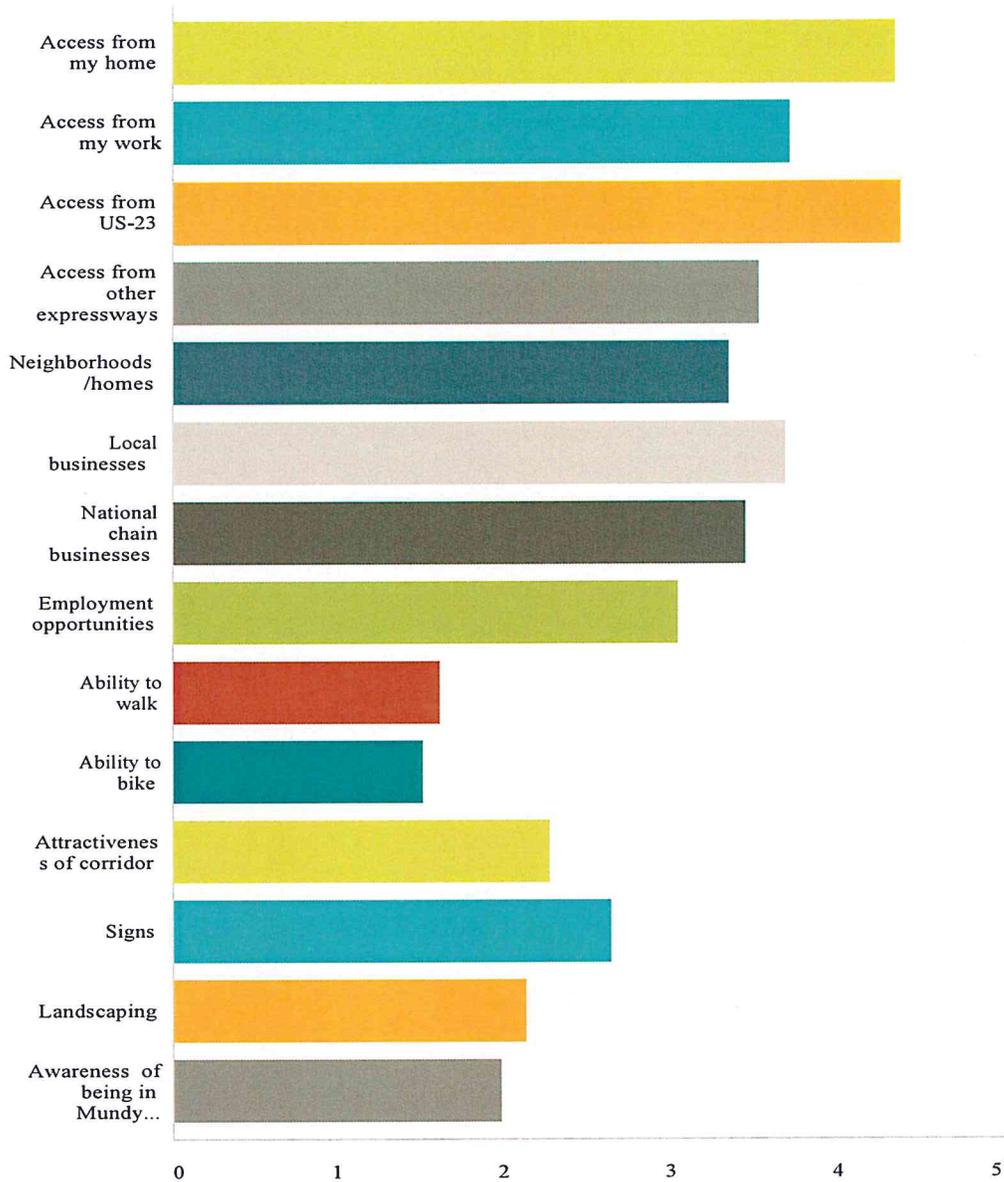
Answered: 91 Skipped: 12



	Very attractive and welcoming	Somewhat attractive and welcoming	Neutral	Somewhat unattractive and unwelcoming	Very unattractive and unwelcoming	Total	Average Rating
(no label)	0% 0	10.99% 10	37.36% 34	40.66% 37	10.99% 10	91	2.48

Q14 Please rate the following as strengths or weaknesses along the Hill Road corridor:

Answered: 91 Skipped: 12



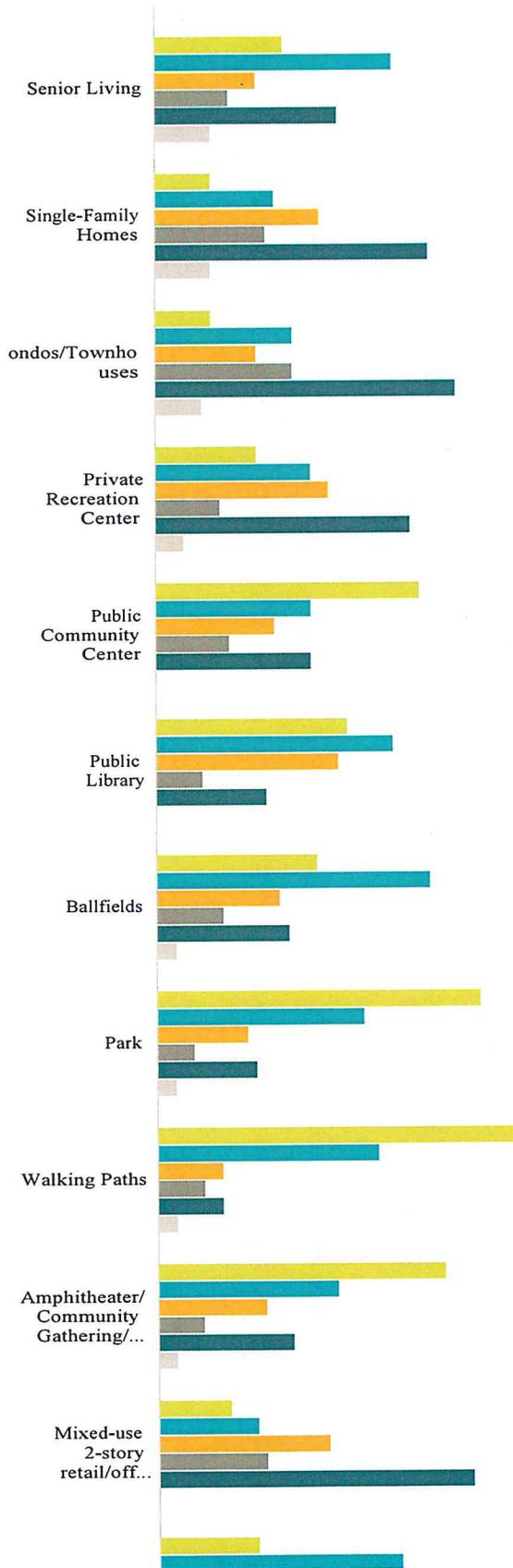
	Great strength	Moderate strength	Neither strength nor weakness	Moderate weakness	Great weakness	Don't know	Total	Average Rating
Access from my home	52.75% 48	25.27% 23	16.48% 15	2.20% 2	0% 0	3.30% 3	91	4.33
Access from my work	25.58% 22	15.12% 13	37.21% 32	3.49% 3	2.33% 2	16.28% 14	86	3.69
Access from US-23	52.81% 47	33.71% 30	8.99% 8	2.25% 2	1.12% 1	1.12% 1	89	4.36

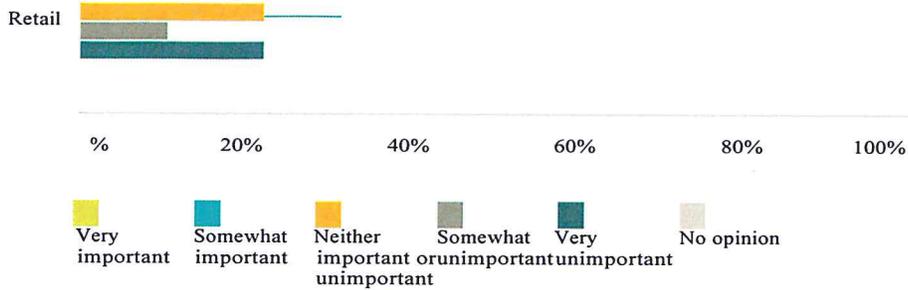
Mundy Twp Hill Rd Corridor Plan

Access from other expressways	22.22% 20	36.67% 33	20% 18	12.22% 11	8.89% 8	0% 0	90	3.51
Neighborhoods/businesses	49% 10	32.18% 28	36.78% 32	11.49% 10	5.75% 5	2.30% 2	87	3.33
Local businesses	14.77% 13	51.14% 45	21.59% 19	11.36% 10	1.14% 1	0% 0	88	3.67
National chain businesses	11.36% 10	39.77% 35	30.68% 27	17.05% 15	1.14% 1	0% 0	88	3.43
Employment opportunities	3.45% 3	29.89% 26	32.18% 28	16.09% 14	9.20% 8	9.20% 8	87	3.03
Ability to walk	1.14% 1	2.27% 2	12.50% 11	19.32% 17	57.95% 51	6.82% 6	88	1.60
Ability to bike	1.14% 1	2.27% 2	10.23% 9	14.77% 13	65.91% 58	5.68% 5	88	1.49
Attractiveness of corridor	1.15% 1	10.34% 9	27.59% 24	33.33% 29	26.44% 23	1.15% 1	87	2.26
Signs	3.41% 3	7.95% 7	51.14% 45	17.05% 15	17.05% 15	3.41% 3	88	2.62
Landscaping	1.14% 1	6.82% 6	23.86% 21	36.36% 32	29.55% 26	2.27% 2	88	2.12
Awareness of being in Mundy Township	3.41% 3	4.55% 4	23.86% 21	19.32% 17	46.59% 41	2.27% 2	88	1.97

Q15 How important do you think the following land use types are to include in the development of the township-owned property?

Answered: 87 Skipped: 16

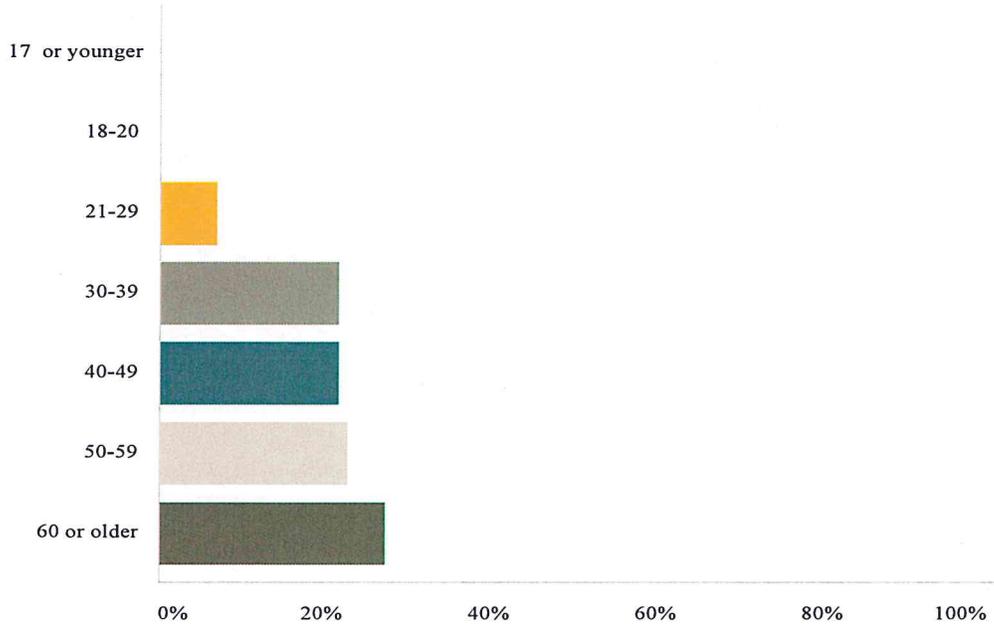




	Very important	Somewhat important	Neither important or unimportant	Somewhat unimportant	Very unimportant	No opinion	Total
Senior Living	16.47% 14	30.59% 26	12.94% 11	9.41% 8	23.53% 20	7.06% 6	85
Single-Family Homes	7.06% 6	15.29% 13	21.18% 18	14.12% 12	35.29% 30	7.06% 6	85
Condos/Townhouses	7.06% 6	17.65% 15	12.94% 11	17.65% 15	38.82% 33	5.88% 5	85
Private Recreation Center	12.94% 11	20% 17	22.35% 19	8.24% 7	32.94% 28	3.53% 3	85
Public Community Center	34.12% 29	20% 17	15.29% 13	9.41% 8	20% 17	1.18% 1	85
Public Library	24.71% 21	30.59% 26	23.53% 20	5.88% 5	14.12% 12	1.18% 1	85
Ballfields	20.73% 17	35.37% 29	15.85% 13	8.54% 7	17.07% 14	2.44% 2	82
Park	41.86% 36	26.74% 23	11.63% 10	4.65% 4	12.79% 11	2.33% 2	86
Walking Paths	46.43% 39	28.57% 24	8.33% 7	5.95% 5	8.33% 7	2.38% 2	84
Amphitheater/Community Gathering/Performance Venue	37.21% 32	23.26% 20	13.95% 12	5.81% 5	17.44% 15	2.33% 2	86
Mixed-use 2-story retail/office/apartments	9.30% 8	12.79% 11	22.09% 19	13.95% 12	40.70% 35	1.16% 1	86
Retail	12.79% 11	31.40% 27	22.09% 19	10.47% 9	22.09% 19	1.16% 1	86
Other (please specify) (9)							

Q16 Which category below includes your age?

Answered: 89 Skipped: 14



Answer Choices	Responses	
17 or younger	0%	0
18-20	1.12%	1
21-29	6.74%	6
30-39	21.35%	19
40-49	21.35%	19
50-59	22.47%	20
60 or older	26.97%	24
Total		89

APPENDIX D: FORMATION RESOLUTION & ORDINANCE

RESOLUTION NO. R-13-06

CHARTER TOWNSHIP OF MUNDY

A RESOLUTION OF INTENT CONSIDERING THE ESTABLISHMENT OF THE HILL ROAD CORRIDOR IMPROVEMENT AUTHORITY BY THE CHARTER TOWNSHIP OF MUNDY.

WHEREAS, the State of Michigan Corridor Improvement Authority Act P. A. 280 of 2005, as amended, authorizes a township to establish a Corridor Improvement Authority which can encourage historic preservation, acquire and dispose of interests in real property and authorize the creation and implementation of development plans designed to promote economic growth within commercial areas of a township; and

WHEREAS, the Mundy Township Board has discussed the need for such an authority to encourage the economic growth of the commercial area residing in the Township; and

WHEREAS, Section 6 of the Act requires that a resolution be adopted by the Township Board indicating the jurisdictional area meets certain legislative requirements and to set a date and time for a public hearing concerning establishment of the Corridor Improvement Authority.

NOW THEREFORE BE IT RESOLVED:

1. That the Township of Board of Trustees for the Charter Township of Mundy finds that there is a public need to establish a Corridor Improvement Authority which can encourage historic preservation, acquire and dispose of interests in real property and authorize the creation and implementation of development plans designed to promote economic growth within commercial areas of the Township.
2. That the proposed jurisdictional area of the authority:
 - (a) Is adjacent to or is within 500 feet of a road classified as an arterial or collector according to the Federal Highway Administration manual "Highway Functional Classification- Concepts, Criteria and Procedures".
 - (b) Contains at least 10 contiguous parcels or at least 5 contiguous acres.
 - (c) More than one-half(%) of the existing ground floor square footage in the development area is classified as commercial real property under Section 34c of the General Property Tax Act, 1893 P.A. 206, MCL 211.34c.

- (d) Residential use, commercial use, or industrial use has been allowed and conducted under the zoning ordinance or conducted in the entire development area, for the immediately preceding 30 years.
 - (e) Is presently served by municipal water or sewer.
 - (f) Is zoned to allow for mixed use that includes high-density residential use. The Planned Regional Center District (PRC) "allows for a mixture of uses, including professional, personal service or business, office uses, hotels and motels, multiple residential use, commercial, retail and food service uses, research, development, high-technology and light assembly uses; and distribution and warehouse uses."
3. The Charter Township of Mundy agrees to all of the following:
- (a) To expedite the local permitting and inspection process in the development area as part of the CIA Implementation effort.
 - (b) To modify its Master Plan to provide for walkable non-motorized interconnections, including sidewalks and streetscapes throughout the development area.
4. That the Charter Township of Mundy Board of Trustees will hold a public hearing on this matter at the Mundy Township Hall at 7:00p.m. on Monday, September 9, 2013.

AYES: David L. Guigear, Tonya Ketzler, Joe Oskey, Mark Frost,
Betty Harrison, and Dennis Owens

NAYS: Bill Morey

ABSENT: None

RESOLUTION DECLARED ADOPTED.

Dated: August 12, 2013



RESOLUTION NO. R-13-13

CHARTER TOWNSHIP OF MUNDY

**RESOLUTION TO ESTABLISH THE HILL ROAD CORRIDOR IMPROVEMENT
AUTHORITY (CIA) AND ADOPT THE CORRESPONDING DEVELOPMENT AND TAX
INCREMENT FINANCING PLAN**

At a regular meeting of the Charter Township of Mundy Board, held on November 11, 2013, at 7:00 p.m., where a majority of the Township Board was present, the following Resolution was offered by Supervisor David Guigear and supported by Clerk Tonya Ketzler

WHEREAS, The State of Michigan Corridor Improvement Authority Act P.A. 280 of 2005, as amended, authorizes a township to establish a Corridor Improvement Authority which can encourage historic preservation, acquire and dispose of interests in real property and authorize the creation and implementation of development plans designed to promote economic growth within commercial areas of a township; and

WHEREAS, The Mundy Township Board has discussed the need for such an authority to encourage the economic growth of the commercial area residing in the Township; and

WHEREAS, In accordance with its master plan, Mundy Township has deemed it necessary to prepare a corresponding Corridor Improvement Development and Tax Increment Financing Plan which designates the boundaries of the CIA District and meets all of the requirements of Sections 18 and 21 of the Act; and

WHEREAS, A resolution of intent was approved by the Township Board indicating that the jurisdictional area meets certain legislative requirements of Sections 6 and 22 of the Act, and that resolution also set a date and time for a public hearing concerning establishment of the Corridor Improvement Authority and adoption of the Corridor Improvement Development and Tax Increment Financing Plan: and

WHEREAS, A public hearing was held on Monday September 9, 2013 at 7:00 pm at Mundy Township Hall in accordance with Public Act P.A. 280 of 2005, as amended, which requires the Township Board to give proper public notice for a public hearing prior to establishing the Corridor Improvement Authority and adoption of the Corridor Improvement Development and Tax Increment Financing Plan; and

4. That the Township Board of Mundy hereby adopts the preliminary set of bylaws for the Hill Road CIA as dated November 11, 2013 and sets the first organizational meeting of the Hill Road CIA for January 16, 2014 at 8:30 a.m. in the township auditorium.

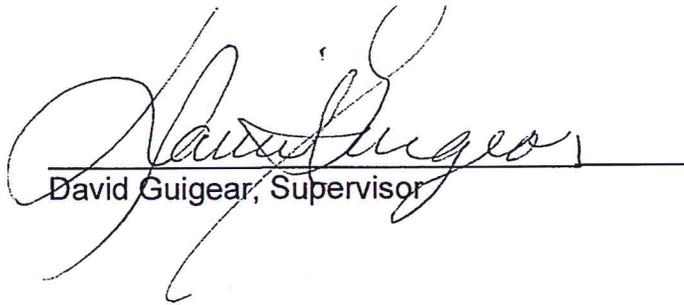
AYES: David L. Guigear, Tonya L. Ketzler, Joe Oskey, Kay Doerr, Betty Harrison, and Dennis Owens.

NAYS: Bill Morey

ABSENT: None

RESOLUTION DECLARED ADOPTED.

Dated: November 11, 2013



David Guigear, Supervisor

I, Tanya Ketzler, Clerk for the Charter Township of Mundy, do hereby certify that Resolution No. R-13-13 was duly adopted at a regular meeting of the Charter Township of Mundy Board of Trustees held on November 11, 2013.



Tonya Ketzler, Clerk

WHEREAS, Comments were received on the plan and placed on the official record of the township, and subsequent changes were made to the plan resulting in modifications to the tax increment financing schedule; and

WHEREAS, The Township Board of Trustees of Mundy Township finds that:

1. There is a public need to establish a Corridor Improvement Authority which can encourage historic preservation, acquire and dispose of interests in real property and authorize the creation and implementation of development plans designed to promote economic growth within commercial areas of the Township.
2. That the proposed jurisdictional area of the authority:
 - (a) Is adjacent to or is within 500 feet of a road classified as an arterial or collector according to the federal highway administration manual "Highway Functional Classification - Concepts, Criteria and Procedures".
 - (b) Contains at least 10 contiguous parcels or at least 5 contiguous acres.
 - (c) More than 1/2 of the existing ground floor square footage in the development area is classified as commercial real property under section 34c of the general property tax act, 1893 PA 206, MCL 211.34c.
 - (d) Residential use, commercial use, or industrial use has been allowed and conducted under the zoning ordinance or conducted in the entire development area, for the immediately preceding 30 years.
 - (e) Is presently served by municipal water or sewer.
 - (f) Is zoned to allow for mixed use that includes high-density residential use. The PRC, Planned Regional Center District "allows for a mixture of uses, including professional, personal service or business, office uses, hotels and motels, multiple residential use, commercial, retail and food service uses, research, development, high-technology and light assembly uses; and distribution and warehouse uses."
3. The following with regard to the Development and Tax Increment Financing Plan:
 - (a) The Development and Tax Increment Financing Plan constitutes a public purpose as defined in Section 23, Public Act 280 of 2005, as amended, and

- (b) That a citizens advisory council was not required for the preparation of the plan, and
- (c) The Development and Tax Increment Financing Plan meets the requirements of Section 20.(2) of the Act, and
- (d) The proposed method of financing the proposed development projects is feasible and the authority has the ability to arrange financing, and
- (e) The Development and Tax Increment Financing Plan is reasonable and necessary to carry out the purposes of the Act, and
- (f) The land included within the development area (if any) to be acquired is reasonably necessary to carry out the purposes of the plan and of the act in an efficient and economically and satisfactory manner, and
- (g) The development plan is in accord with the land use plan of Mundy Township, to be amended, and
- (h) Public services, such as fire and police protection and utilities are or will be adequate to service the project area, and
- (i) Changes in zoning, street levels, intersections, and utilities (if necessary) are reasonably necessary for the project and for the municipality, and
- (j) The amount of captured assessed value estimated to result from adoption of the Development and Tax Increment Financing Plan is reasonable,

NOW THEREFORE BE IT RESOLVED BY THE BOARD OF THE CHARTER TOWNSHIP OF MUNDY AS FOLLOWS:

1. That the Township Board of Mundy Charter Township, Genesee County, Michigan, herewith creates the Hill Road Corridor Improvement Authority and approves and adopts the Development and Tax Increment Financing Plan dated November 11, 2013, as recorded as placed on file with the township clerk.

2. That the Township Board of Mundy directs the township clerk to file a copy of the resolution with the secretary of state and to publish it at least once in a newspaper of general circulation.

3. That the Township Board of Mundy agrees to:

- (a) To expedite the local permitting and inspection process in the development area as part of the CIA Implementation effort.
- (b) To modify its master plan to provide for walkable non-motorized interconnections, including sidewalks and streetscapes throughout the development area.

**BYLAWS OF
THE HILL ROAD CORRIDOR IMPROVEMENT AUTHORITY
OF THE TOWNSHIP OF MUNDY
DATED NOVEMBER 11,2013**

ARTICLE I- NAME

The name of this Authority is the Hill Road Improvement Authority of the Charter Township of Mundy.

ARTICLE II - PURPOSE

The purpose of the Authority is to carry out those purposes and exercise those powers as conferred upon it by the Michigan Corridor Improvement Authority, Act 280 of the Michigan Public Acts of 2005 as amended. The Authority shall be a public body corporate, and shall have all the powers which now or hereafter may be conferred by law on authorities organized under this Act. The authority is an instrumentality of a political subdivision for purposes of 1972 PA 227, MCL 213.321 to 213.332.

ARTICLE III - AUTHORITY BOARD OF DIRECTORS

Section 1. Authority Board of Directors. The Authority shall be under the supervision and control of a board consisting of seven members appointed by the Supervisor of the Township of Mundy subject to the approval of Board of Trustees. One of these members must be the chief executive officer of the township or his/her designee, and one must reside in or within 1/2 mile of the district. Not less than a majority of the members shall be persons having an ownership or business interest in property located in the Corridor Improvement Authority development area. At least one of the members shall be a resident of the development area or of an area within one-half mile of any part of the development area.

Section 2. Terms, Replacement, and Vacancies. Of the initial seven members appointed, two terms shall expire on December 31, 2014, two terms shall expire on December 31, 2015, two terms shall expire on December 31, 2016, and one term shall expire on December 31, 2017. Thereafter, each member appointed shall serve for a term of four years. A member shall hold office until the member's successor is appointed. An appointment to fill a vacancy shall be made by the Supervisor for the unexpired term only. Before assuming the duties of office, a member shall qualify by taking and subscribing to the constitutional oath of office.

Section 3. Removal. A member of the Board may be removed for cause by the Township Board after having been given notice and an opportunity to be heard.

ARTICLE IV- OFFICERS

Section 1. Officers. The officers of the Authority Board shall be a chairperson, a vice chairperson, a treasurer, and a recording secretary. All officers shall be members of the Authority Board, with the exception of the recording secretary who need not be a member of the Authority Board.

Section 2. Removal of Officers. An officer may be removed by the Authority Board whenever, in its judgment, the best interest of the Authority Board will be served.

Section 3. Chairperson. The chairperson shall preside at all meetings of the Authority Board and shall discharge the duties as a presiding officer.

Section 4. Vice Chairperson. In the absence of the chairperson or in the event of inability to serve as chairperson, the vice chairperson shall perform the duties of the chairperson and when so acting, shall have all the powers and be subject to all the restrictions of the chairperson.

Section 5. Treasurer. The treasurer shall prepare, with the assistance of appropriate staff, monthly expense vouchers for publication and an annual financial report covering the fiscal year of the Authority. The treasurer shall keep the financial records of the authority and, together with the township finance officer, shall approve all vouchers for the expenditure of funds of the authority under the township's purchasing and procurement policy. The fiscal year of the Authority shall be January 1 to December 31. An annual audit will be made each year. The treasurer shall provide a bond if necessary in the amount prescribed by the Authority Board.

Section 6. Recording Secretary. The recording secretary who, if not a member of the Authority Board, shall be a designee of the Authority Board. The recording secretary shall attend all meetings of the Authority Board and with the assistance of appropriate staff record all votes and the minutes of all proceedings in a book to be kept for that purpose. The recording secretary shall give, or cause to be given, notice of all meetings of the Authority Board, as required by law or these bylaws, and shall perform such other duties as may be prescribed by the Authority Board. The recording secretary shall, when authorized by the Authority Board, attest by signature to actions of the Authority Board, and shall maintain custody of the official seal, and of the records, books and all documents of the Authority.

Section 7. Delegation of Duties of Officers. In the absence of any officer of the Authority Board due to resignation or removal, the Authority Board may delegate the powers and duties of any officer to any Authority Board member provided a majority of a quorum of the Authority Board concurs therein.

Section 8. Election of Officers. Nominations shall be made from the floor at the annual meeting in January or at the initial meeting of the Authority Board. Officers shall be confirmed by a roll call vote. The terms of office shall be for one year and begin at

the close of the annual meeting at which they are elected, until his or her successor shall be elected and qualified, or immediately if the respective position is vacant. No member shall hold more than one office at a time.

ARTICLE V - EMPLOYMENT OF DIRECTOR

The Authority Board may employ and fix compensation of a director subject to approval of the Township Board. A member of the Board is not eligible to hold the position of Director. Before beginning his or her duties, the Director shall subscribe to the constitutional oath. The Director shall be the chief executive officer of the Authority. The Director shall serve at the pleasure of the Authority Board.

ARTICLE VI – MEETINGS

Section 1. Organizational Meeting and Election of Officers. Officers shall be elected at the first organizational meeting of the Authority Board after the adoption of the Bylaws and shall be appointed thereafter pursuant to Article VI – Section 2.

Section 2. Annual Meeting. Starting in the year 2014, an annual meeting shall be held in January at a time and place to be set by the Authority Board. Election of officers shall occur at the annual meeting. If the election of officers does not occur on the day designated or any adjournment thereof, the Authority Board shall cause the election to be held at a regular or special meeting of the Authority Board within 90 days of the annual meeting.

Section 3. Regular Meetings. Regular meetings of the Authority Board shall be held at a time and place to be set by the Authority Board at its annual meeting. The meeting calendar shall be submitted to the township for publication. Notice of regular meetings shall be published in accordance with the Michigan Open Meetings Act. The Authority Board records shall be open to the public.

Section 4. Special Meetings. Special meetings of the Authority Board may be called by the chairperson, the vice chairperson in the absence of the chairperson, or by any three Authority members by giving 18 hours notice of the meeting, stating the purpose of the meeting and by posting sufficient public notice.

Section 5. Notice of Meetings. All meetings other than regularly scheduled meetings shall be preceded by public notice posted 18 hours prior to the meeting in accordance with Act 267 of the Public Acts of 1976 as amended.

Section 6 Agenda. The recording secretary together with appropriate staff shall prepare the agendas for all meetings and send them to the Authority Board members at least 18 hours prior to the meeting. Any member of the Authority Board may request any item to be placed on the agenda.

Section 7 Quorum and Voting. A quorum shall constitute a majority of the Authority Board members appointed and serving at the time. A majority vote of a quorum of the Authority Board shall constitute the action of the Authority Board unless the vote of a larger number is required by statute, or elsewhere in these rules. In the event that effective membership is reduced because of a conflict of interest, a majority of the remaining members eligible to vote shall constitute the action of the Authority Board.

Section 8 Rules of Order. *Robert's Rules of Order* will govern the conduct of all meetings.

Section 9 Open and Closed Meetings. All regular and special meetings of the Authority Board shall be open to the public. Closed meetings of the Authority Board may be called for the purposes listed in the Open Meetings Act, Act 267 of the Public Acts of 1976, as amended, if approved by the Authority.

Section 10 Conflict of Interest. An Authority Board member who has a direct conflict of interest of more than a de minimis nature as defined by MCL 15.322 and 15.323 in any matter before the Authority Board shall disclose that interest prior to the Authority Board taking any action with respect to the matter. This disclosure shall become part of the record of the Authority Board's official proceedings. Any member making such disclosure shall, with the approval of the Authority Board, refrain from participating in the Authority Board's decision making process, to include all discussions, motions made and votes taken, relative to such matters, unless required by law.

Section 11 Mandatory Voting. Except when a member is excused from participating on a matter by the chair because of a disclosed conflict of interest, all members present shall vote on all matters before the Authority Board.

ARTICLE VII - EXECUTIVE COMMITTEE

The officers of the Authority Board, including chairperson, vice chairperson, treasurer, and recording secretary, shall constitute the executive committee. The executive committee shall have general supervision of the affairs of the Authority Board between its business meetings, fix the hours and place of meetings, make recommendations to the Authority Board, and shall perform such other duties as specified in these Bylaws or as may be specified by the Authority Board.

ARTICLE VIII - AUTHORITY BOARD COMMITTEES AND ADVISORY COMMITTEES

Section 1 Authority Board Committees. The Authority Board, by resolution, may designate and appoint one or more committees to advise the Authority Board. Committee members shall be members of the Authority Board. The chairperson of the

Authority Board shall appoint the members and select the chairperson of the Authority Board committees. The committees may be terminated by vote of the Authority Board. At the annual meeting, the committees will be evaluated and reappointed or dissolved. A majority of the committee will constitute a quorum. A majority of the members present at the meeting at which a quorum is present shall be the action of the committee.

Section 2 Advisory Committees. The Authority Board may, by resolution, authorize the establishment of advisory committees to the Authority Board. The chairperson shall select, with the advice and consent of the Authority Board members, the members of each advisory committee. The advisory committees shall elect their own officers and establish rules governing their action.

ARTICLE IX - INDEMNIFICATION

Section 1 Indemnification. Whenever any claim is made or any civil action is commenced against any officer or employee of the Authority, or injuries to persons or property caused by the negligence of the officer or employee while in the course of their employment, and while acting within the scope of their authority, the Authority Board may, but is not required to pay for legal services and also for any judgment or compromised settlement of the claim, pursuant to Act 170 of the Public Acts of 1964, as amended.

Section 2. Reimbursement. Any indemnification under Section 1 shall be made by the Authority Board only as authorized in the specific case upon a determination that indemnification of the employee or officer is proper in circumstances because they have met the applicable standard of conduct set forth in Section 1. Such determination shall be made in either of the following ways:

1. By a majority vote of the members of the Authority Board who were not parties to such action, suit or proceedings, or
2. If such quorum is not obtainable, or even if obtainable, a quorum of disinterested members so directs, supported by the recommendation of legal counsel in a written opinion.

Section 3. Insurance. The Authority Board may purchase and maintain insurance on behalf of any person who is or was a director or officer of the corporation against any liability asserted against the officer or employee and incurred by them in any such capacity or arising out of their status as such, whether the Authority Board would have power to indemnify that person against such liability under Sections 1 and 2 of this Article.

ARTICLE X - AMENDMENTS OF BYLAWS

These Bylaws may be amended at any regular meeting of the Authority Board by a majority vote of a quorum, provided that the amendment has been submitted in writing at the previous regular meeting; provided, however, that no such amendment shall take effect until approved by resolution of the Township Board.

CHARTER TOWNSHIP OF MUNDY

RESOLUTION NO. R-18-08

RESOLUTION TO ESTABLISH THE CORRESPONDING DEVELOPMENT AND TAX INCREMENT FINANCING PLAN ON THE ALREADY ESTABLISHED HILL ROAD CORRIDOR IMPROVEMENT AUTHORITY

At a regular meeting of the Charter Township of Mundy Board, held on April 23, 2018, at 7:00 p.m., where a majority of the Township Board was present, the following Resolution was offered:

WHEREAS, The State of Michigan Corridor Improvement Authority Act P.A. 280 of 2005, as amended, authorizes a township to establish a Corridor Improvement Authority which can encourage historic preservation, acquire and dispose of interests in real property and authorize the creation and implementation of development plans designed to promote economic growth within commercial areas of a township; and

WHEREAS, The Mundy Township Board has discussed the need for such an authority to encourage the economic growth of the commercial area residing in the Township; and

WHEREAS, In accordance with its master plan, Mundy Township has deemed it necessary to prepare a corresponding Corridor Improvement Development and Tax Increment Financing Plan which designates the boundaries of the CIA District and meets all of the requirements of Sections 18 and 21 of the Act; and

WHEREAS, Resolution of intent was approved by the Township Board on August 12, 2013 indicating that the jurisdictional area meets certain legislative requirements of Sections 6 and 22 of the Act, and that resolution also set a date and time for a public hearing concerning establishment of the Corridor Improvement Authority and adoption of the Corridor Improvement Development and Tax Increment Financing Plan:

WHEREAS, A public hearing was held on Monday September 9, 2013 at 7:00 p.m. at the Mundy Township Hall in accordance with Public Act P.A. 280 of 2005, as amended, which requires the Township Board to give proper public notice for a public hearing prior to establishing the Corridor Improvement Authority and adoption of the Corridor Improvement Development and Tax Increment Financing Plan and

WHEREAS, Resolution to establish the Hill Road Corridor Improvement Authority (CIA) and adopt the corresponding development and tax increment financing plan was approved on November 11, 2013 and

WHEREAS, Resolution to amend the Development and Tax Increment Financing Plan dated November 11, 2013 to expire on November 13, 2017 was approved on November 13, 2017

WHEREAS, there is a need to reset the taxable value baseline to which the plan is to follow;

WHEREAS, A public hearing was held on Monday April 9th at 7:00 p.m. at the Mundy Township Hall to hear all comments related to the amendment of the Tax Increment Financing Plan to establish 2017 as the new Base Tax Year. The plan has been prepared pursuant to Michigan Public Law section 22 of PA 280 of 2005 as amended, and Mundy Township has given proper notice for a public hearing.

NOW THEREFORE BE IT RESOVED BY THE BOARD OF THE CHARTER TOWNSHIP OF MUNDY AS FOLLOWS:

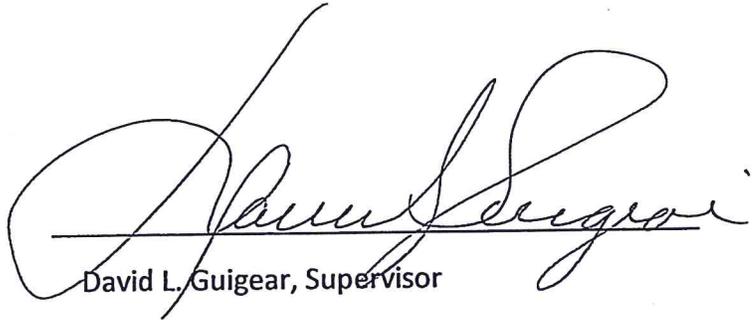
THAT the Township Board of Mundy Charter Township, Genesee County, Michigan, herewith amends the Development and Tax Increment Financing Plan that expired November 13, 2017 to reset the taxable value baseline to \$58,401,680.00 of which the plan is to follow.

Motion was made by Supervisor Guigear, and supported by Treasurer Oskey, to adopt the foregoing Resolution.

AYES: Supervisor D. Guigear, Treasurer J. Oskey, Trustees C. Bostwick, K. Doerr, D. Morey, and D. Owens
NAYS: None
ABSENT: Clerk T. Ketzler
ABSTAIN: None

RESOLUTION DECLARED ADOPTED.

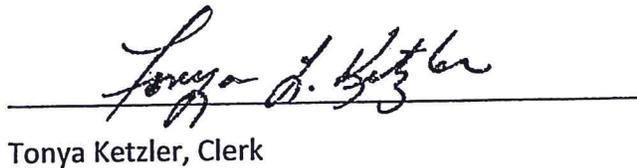
DATED: April 23, 2018



David L. Guigear, Supervisor

I, Tonya L. Ketzler, Clerk of the Charter Township of Mundy do hereby certify that Resolution No. R-18-08 was duly adopted at a regular board meeting of the Charter Township of Mundy Board held on April 23, 2018.

DATED: April 23, 2018



Tonya Ketzler, Clerk